



Contractor:

Klassen Corporation  
2021 Westwind Drive  
Bakersfield, California 93301  
ph. (559) 564-5010

CHANGE ORDER NO.

2

DISTRIBUTION TO:

Owner: ☒ Architect: ☒ I.O.R.:  
DSA: Contractor: ☒ Other:

PROJECT: Flamson MStemporary Campus  
Paso Unified School District

File: 40-54  
Appl. No.: 03-118912  
Initiation Date: 8/21/2019  
Approval Date:

This change order shall supplement, amend and become a part of the bidding documents, specification, and the drawings. All bids and construction contracts shall be based on the inclusion of this change order. The revisions contained within this change order include the following change proposals:

	days	
COR #03 Grading and Utilities Revisions	0	\$58,094.65
COR #04 Added electrical scope for Modular Units	0	\$23,537.53
COR # 05 Flatwork thickness increase for vehicle access	0	\$11,356.02
COR #06 CCD 05 - Added vent details to portable units (Concrete Formwork)	0	\$50,143.35
COR # 13R1 Added Sink and counter to units 25 and 26	0	\$14,903.34

The original contract sum	\$1,794,309.00
Net change by previously authorized Change Orders	\$13,652.34
Total contract sum prior to this Change Order	\$1,807,961.34
The contract sum will be <u>increased</u> by this Change Order	\$158,034.89
The new contract sum including this Change Order will be	\$1,965,996.23

The contract time will be unchanged by this Change Order.

The date of completion as of the date of this Change Order shall be to be determined. District acknowledges delay days; days of actual delays will be negotiated at the end of the project

It is mutually agreed that the affixed signature to this change order is evidence that all compensation with respect to the changes defined herein have been satisfied with the execution of this document. Furthermore, no additional compensation either momentarily or via time extension to this contract will be sought with respect to this change order.

Owner:  
Brad Pawlowski  
Paso Robles USD

Contractor:  
Brian Guiniling  
Klassen Corporation

Architect:  
David Iwanaga  
SIM-PBK

Signature

Signature

Signature

Date

Date

Date

8.21.2019

08/21/19



July 26, 2019

Rafael Ferreira  
Principal | Architecture  
7790 North Palm Avenue  
Fresno, CA 93711

RE: Flamson Temp Campus  
CCD 03 Grading and Utility Revisions (CPR's 02, 07R1)  
**Change Order Request: COR 03**

Rafael,

Attached for review and approval please find the costs associated with the grading and utility revisions per approved CCD 3A. Survey costs were incurred in resetting building corners.

The Contract time due to this Change Order is increased by: ~~(15) Days~~

1	BCP 3D Surveying		\$	3,300.00
2	Michael Bray Construction		\$	40,235.25
3	Electricraft		\$	11,245.18
	Subtotal:		\$	54,780.43
	<b>Klassen OH&amp;P 5%</b>		<b>\$</b>	<b>2,739.02</b>
			\$	57,519.45
	Klassen Bond 1%		\$	575.19
	<b>TOTAL:</b>		<b>\$</b>	<b>58,094.65</b>

Sincerely,

KLASSEN CORPORATION

Brian Guiniling  
Project Manager

**BCP 3D Inc.**

897 Embarcadero Drive Suite 102  
El Dorado Hills, CA 95762  
(888) 791-5520  
BCP3D.net

## Invoice

**BILL TO**

Klassen Corporation  
2021 Westwind Dr  
Bakersfield, CA 93301-3015  
USA

**INVOICE #** 43450.2**DATE** 05/24/2019**DUE DATE** 06/23/2019**TERMS** Net 30**JOB #**

05-3-19004 XTRA

CPR 07R1 Grading & Utilities Revision Resetting Bldg Corners
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**ACTIVITY****QTY****RATE****AMOUNT****01 Site Location**

George H Flamson Middle School Temporary Campus  
Paso Robles Joint Unified School District  
2405 Spring Street, Paso Robles, CA 93446

**02 Site Work:Field Crew 1**

Extra Work (2-man crew for 1 day; 1 man crew for 1 day)

1 3,300.00 3,300.00

Thank you very much for your business

**BALANCE DUE****\$3,300.00**

# Michael Bray Construction

P.O. Box 545

Paso Robles Ca. 93447

## Change Order Request

Date	Estimate #
5/28/2019	COR #2

Name / Address
Klassen Corporation Brian Guiniling 2021 Westwind Drive Bakersfield ,California 93301

Location
Flamson Temp Campus 2405 Spring Street Paso Robles, Ca 93446 Project:05-3-19004
Project
Flamson Temp Campus

Description	Qty	Cost	Total
Sheet ASI.0-(1.01/1.02/1.03)-Supervision(5/11-5 hours,8 hours reviewing & administrating changes) asbuilds	28	106.00	2,968.00
Sheet C1 Change List-1.01 Extra Work(4 hours regrading pad edges 3' south)	4	150.00	600.00
Sheet C1 Change List-1.02-Extra Work Over-xing pad on south end(work completed before additional change-increase scope to cover 10 extra ft to south)4 hours 1 operator & Laborer on water hose=\$225 x 4 hours	4	225.00	900.00
Sheet C1 Change list: 1.03= Not Sure?		0.00	0.00
Sheet C1 Change List 1.04-Grading Adjustment (Raise Modulares 6" ) Cost estimate use onsite materials from soccer field to raise grades-aprox 300 yards	300	70.00	21,000.00
Sheet C2 Change list 1.05-up size 12-16 to 2" to 4" ABS-materials \$ 960, 5/15 & 16 extra overtime labor to accelerated schedule for delivery modular 16 & 15. (8 hours operator @ \$156 overtime= \$1,272 & 8 hours laborer \$112.50=\$900)=total \$3,132	1	3,132.00	3,132.00
Sheet C2-1.06 increase 2" to 4" building 22-26,note I up sized lateral feeds from 4" to 6" to help with reduced slopes(Materials only,labor not increased)	1	2,100.00	2,100.00
Sheet C2-1.06 Added Sewer lateral & water connection to Admin-1	1	4,520.00	4,520.00
Sheet C2-1.07 Water Fountains(no cost increase)		0.00	0.00
Extra Work Saturday 5/25/19- Bathroom Delivery-5 hours operator OT @ \$ 159,5 hours laborer @ \$112.50=\$1,357.50	1	1,357.50	1,357.50
Markup@ 10%	36,577.5	0.10	3,657.75

Mike's Cell # 805-423-6280

Ca. Lic # 610280-A  
Ca DIR # 1000033998

**Total**

\$40,235.25

Phone #	Fax #	E-mail	Web Site	Acceptance Signature
805-239-3155	805-237-0956	Mike@MichaelBrayConstruction.com	www.MichaelBrayConstruction.com	





Klassen Corporation  
2021 Westwind Dr  
Bakersfield, California 93301  
Phone: (661) 489-4954  
Fax: (661) 324-3900

**Project:** 05-3-19004 - Flamson MS Temp Campus (CA)  
2405 Spring Street  
Paso Robles, California CA

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## **CPR 07R1 / CCD #3A Grading and Utility Revisions**

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**CREATED BY:** Cat Nelson

**CREATED DATE:** 5/29/2019

Electricraft | James Pierson

**STATUS:** Out for Pricing

**POTENTIAL CHANGE ORDER:**

**DESCRIPTION:**

CE #008 - CPR 07R1 - Grading and Utility Revs

Addressed in CPR 07R1/CCD 03 issued on 5/20/19: Per discussion with the DSA IOR, contractor shall move buildings 1 through 8, 9 through 15, 17 through 19 and restrooms 1 and 2, a total of 36 inches south. A revised Civil grading plan will be issued to address the space reduction between buildings 17 through 19 and building 20 from 12'-10" to 9'-10". Grading in other areas shall remain as designed.

Contractor to provide pricing for the following per CPR 07R1/CCD 03 Change Description List to Sheets AS1.0, C1 and C2 (attached)

1.01 Modular buildings 1 through 19 shifted 3'-0" South to allow for a 3'-0" wide leveled surface area North of units 1 through 8 in accordance with code sections CEC/NEC 110 and CBC 1808.

1.02 Modular buildings 27 through 31 shifted 10'-0" South to allow for a minimum 20'-0" separation from an existing structure north of modular buildings 27 and 28.

1.03 Added flatwork area East of modular building cluster No. 5.

1.04 Overall grading adjustment due to revised site layout.

1.05 Sanitary sewer line increase from 2" to 4" at modular buildings 12 through 16.

1.06 Sanitary sewer line increase from 2" to 4" at modular buildings 22 through 26 and added water and sanitary sewer connection to modular building Admin-1.

1.07 Water and sanitary sewer revisions to drinking fountains.

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**ATTACHMENTS:**

[17-58\\_FTC - CPR-07\\_Grading and Utilities revisions-R1.pdf](#)

**TOTAL COST: \$ 11,245.18**

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## RFC #5

<b>To:</b> Klassen Corporation	<b>From:</b> James Pierson
<b>ATTN:</b> Brian Guinilling	Project Manager
<b>Email:</b> briang@klassencorp.com	<b>Pages:</b> 3
<b>Phone:</b> 661-489-4948	<b>Date:</b> 6/3/19
<b>Re:</b> Flamson Middle School Temp Campus Site Grade Adjustment	<b>CC:</b> File

☐ **Urgent**    ☒ **For Review**    ☒ **For Your Action**    ☐ **Please Confirm Fax**    ☒ **Please Reply**

In response to grading and utility revisions dated 5/29/19 for the referenced project, our lump sum request for change is **\$11,755.98** to cover the electrical work including, material, tax and labor during straight time hours Monday through Friday for a complete installation as outlined below and per the attached breakdown:

Specifically Included:

1. Provide and install required conduit extensions for site conduits due to grade changes across site.
2. This change order constitutes extra work which is entitled under the contract documents to an extension of time. Electriccraft, Inc. hereby **requests an extension of time in the amount of 6 (six) working day(s).**

Specifically Excluded:

1. Permits and Fees.

In accordance with the California Code of Regulations Title 8, Chapter 2, Subchapter IV our electricians have been tested and are certified Journeyman General Electricians. Our standard additional insured endorsement CG 2010 11 85 modified is included in this quote. Any additional endorsements or waivers can be provided at an additional charge.

Thank you for the opportunity to provide additional services for this project. This RFC is valid for a period of 30 days. Please feel free to call regarding any questions you may have.

Sincerely,

James Pierson  
Project Manager

Z:\Open Jobs\19-104 Flamson MS Temp Campus\RFC\RFC 5 - Grade Change\RFC 5.doc

PLEASE NOTE: The information contained in this facsimile message is intended only for the personal and confidential use of the designated recipient(s) named above. This message may be a contractor-client communication, and as such is privileged and confidential. If the reader of this message is *not* the intended recipient(s) or an agent responsible for delivering it to the intended recipient(s), you are hereby notified that you have received this document in error, and that any review, dissemination, distribution or copying of this message is strictly prohibited. If you have received this communication in error, please notify this office immediately by phone (805) 544-8224 and return the original message to Electriccraft Inc. Thank you.



200 Suburban Road, Suite A, San Luis Obispo, CA 93401

**Summary Cost Breakdown  
Flamson Middle School Temp Campus  
Request for Change #5**

**Site Grade Change  
6/3/19**

**CHARGE**

Labor		\$6,568.35
Material		\$3,391.41
Tax		\$262.83
Subtotal		\$10,222.59
OH&P	10%	<del>\$1,533.39</del>
Total		<del>\$11,755.98</del>
		11,245.18



## CREDIT PRICING SHEET

Job	Flamson MS Temp Campus
Work	Site Grade Adjustment

Date	06/03/19		
Sheet(s)	1	Of	1

Estimate #	Priced By	Extended By	Checked By
1	JP		

	✓	Material	Quantity	MATERIAL			LABOR		
				Price	Per	Extension	Unit	Per	Extension
1		<b>Site Grade Adjustment</b>				-			-
2		1-1/4" GRC Coup	72	\$537.94	C	\$387.32	0.23	E	16.56
3		1-1/4" x 6" GRC Nipple	72	\$1,458.90	C	\$1,050.41	0.40	E	28.80
4		2" GRC Coup	12	\$890.34	C	\$106.84	0.30	E	3.60
5		2" x 6" GRC Nipple	12	\$2,468.27	C	\$296.19	0.60	E	7.20
6		3" GRC Coup	16	\$2,823.35	C	\$451.74	0.40	E	6.40
7		3" x 6" GRC Nipple	16	\$6,065.11	C	\$970.42	0.90	E	14.40
8		3/4" GRC Coup	6	\$287.83	C	\$17.27	0.17	E	1.02
9		3/4" x 6" GRC Nipple	6	\$853.76	C	\$51.23	0.30	E	1.80
10		10 Mill Tape	4	\$15.00	E	\$60.00	1.00	E	4.00
11						-			-
12						-			-
13						-			-
14						-			-
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25						-			-
26						-			-
27						-			-
28						-			-
29						-			-
30						-			-
				Material ▶		<b>\$3,391.41</b>	Labor ▶		<b>83.78</b>

## APPLICATION FOR APPROVAL OF CONSTRUCTION CHANGE DOCUMENT – CCD CATEGORY A/B

This application is for construction changes, as defined in IR A-6, to approved contract documents. This form shall be completed by the Design Professional in General Responsible Charge of the project, in accordance with California Code of Regulations, Title 24, Part 1, Section 4-338 (c) and in compliance with DSA IR A-6.

School District/Owner:	DSA File #: -
Project Name/School:	DSA App. #: -

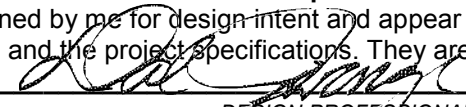
### APPLICANT

CCD Cat. <input type="checkbox"/> A / <input type="checkbox"/> B, #:	Date Submitted:	Attached Pages?: <input type="checkbox"/> No <input type="checkbox"/> Yes (____ pages)
For CCD Cat. B, this is a <input type="checkbox"/> voluntary submittal, <input type="checkbox"/> DSA required submittal (attach DSA notification requiring submission).		
Firm Name:	Contact Name:	
Email:	Phone Number:	
Address:		
City:	State:	Zip:
<input type="checkbox"/> A DSA 301-N, DSA 301-P, or 90-Day Letter has been issued for this project.		
<input type="checkbox"/> For project currently under construction.		
<input type="checkbox"/> To obtain DSA approval of existing uncertified building(s).		

### DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE

Name of Design Professional in General Responsible Charge:	
Professional License #:	Discipline:

**Design Professional in General Responsible Charge Statement:** The attached Construction Change Documents have been examined by me for design intent and appear to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications. They are acceptable for incorporation into the construction of the project.

**Signature:**   
DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE

**CHECK THIS BOX:** ☐ To confirm that **all** CCD drawings and, when applicable, first sheet or index of calculations and specifications have been stamped and signed by the Responsible Design Professional listed on DSA 1 for this this project.

Brief description of construction change (attach additional sheets if needed):

List of DSA approved drawings affected by this CCD:

<p align="center"><b>DSA USE ONLY</b></p> <p>SSS <u>P. F.</u> Date <u>6/26/19</u> <u>Approved</u> / Disapproved / Not Req'd</p> <p>FLS <u>A.C.</u> Date <u>6/18/19</u> <u>Approved</u> / Disapproved / Not Req'd</p> <p>ACS <u>S. Luk</u> Date <u>7/5/19</u> <u>Approved</u> / Disapproved / Not Req'd</p> <p>Remarks _____</p>	<p align="center"><b>For business office use only</b></p> <p>Date Sent _____</p> <p>Return By _____</p> <p>Delivery Method _____</p>	<p align="center"><b>DSA Stamp</b></p> <div style="border: 1px solid black; padding: 5px; text-align: center;"> <p>APPROVED DIV. OF THE STATE ARCHITECT</p> <p>APP. 03-118912 INC:</p> <p>REVIEWED FOR</p> <p>SS <input checked="" type="checkbox"/> FLS <input checked="" type="checkbox"/> ACS <input checked="" type="checkbox"/></p> <p>DATE: 07/05/2019</p> </div>
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**DSA Project No. 03-118912**

**Project Name:** Flamson MS - Temp Campus/Interim Housing  
Construction Change Document No. 03

**Sheet AS1.0 Change Description List:**

- 1.01** Modular buildings 1 through 19 shifted 3'-0" South to allow for a 3'-0" wide leveled surface area North of units 1 through 8 in accordance with code sections CEC/NEC 110 and CBC 1808.
- 1.02** Modular buildings 27 through 31 shifted 10'-0" South to allow for a minimum 20'-0" separation from an existing structure north of modular buildings 27 and 28.
- 1.03** Added flatwork area East of modular building cluster No. 5. Refer to DSA Approved sheet AT.4 for cluster location

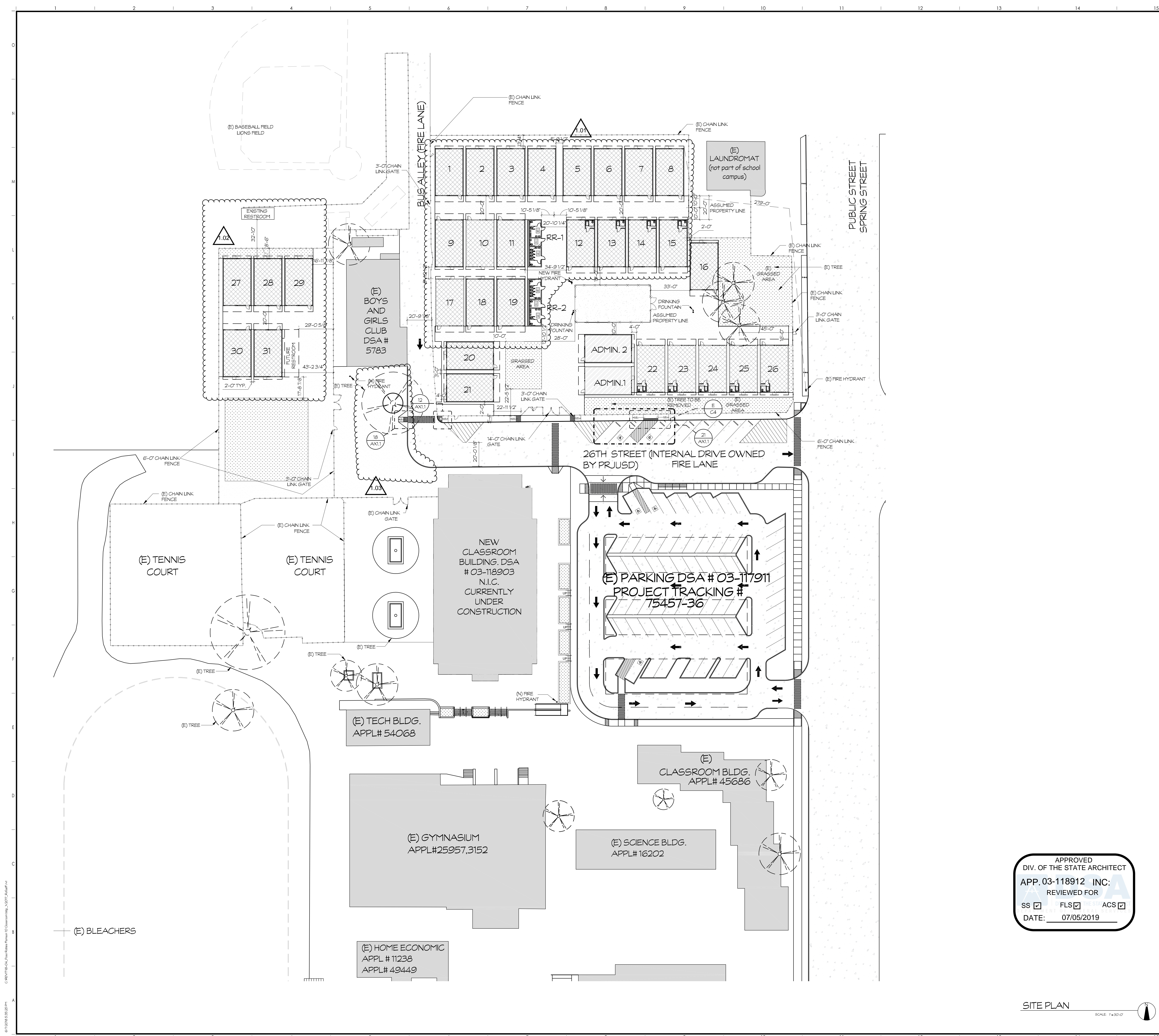
**Sheet C1 Change Description List:**

- 1.01** Modular buildings 1 through 19 shifted 3'-0" South to allow for a 3'-0" wide leveled surface area North of units 1 through 8 in accordance with code sections CEC/NEC 110 and CBC 1808.
- 1.02** Modular buildings 27 through 31 shifted 10'-0" South to allow for a minimum 20'-0" separation from an existing structure north of modular buildings 27 and 28.
- 1.03** Added flatwork area East of modular building cluster No. 5. Refer to DSA Approved sheet AT.4 for cluster location
- 1.04** Overall grading adjustment due to modular building revised site layout.

**Sheet C2 Change Description List:**

- 1.01** Modular buildings 1 through 19 shifted 3'-0" south to allow for a 3'-0" wide leveled surface area North of units 1 through 8 in accordance with code sections CEC/NEC 110 and CBC 1808.
- 1.02** Modular buildings 27 through 31 shifted 10'-0" south to allow for a minimum 20'-0" separation from an existing structure north of modular buildings 27 and 28.
- 1.03** Added flatwork area East of modular building cluster No. 5. Refer to DSA Approved sheet AT.4 for cluster location.
- 1.05** Sanitary sewer line increase from 2" to 4" at modular buildings 12 through 16.
- 1.06** Sanitary sewer line increase from 2" to 4" at modular buildings 22 through 26 and added water and sanitary sewer connection to modular building Admin-1
- 1.07** Water and sanitary sewer revisions to drinking fountains.





- ### SITE NOTES
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE INSPECTOR PRIOR TO SIGN OFF.
  - ALL EXISTING APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED. AUTHORITY: PRC 11-2-209.
  - ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
  - NO OPEN TRENCH IN STREETS ALLOWED. ALL UTILITY CONNECTIONS MUST BE BORED.
  - ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE OWNER. CONTACT TRAFFIC ENGINEER FOR INFORMATION REGARDING REIMBURSEMENTS RELATIVE TO RELOCATING TRAFFIC SIGNAL FACILITIES, FIRE HYDRANTS WILL BE RELOCATED BY CITY FORCES. DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION TO ARRANGE AND COORDINATE WORK.
  - A BACKFLOW PREVENTION DEVICE IS REQUIRED. CONTACT THE CITY WATER DIVISION FOR REQUIREMENTS. DEVICES MUST BE INSTALLED ON-SITE IN A LOCATION APPROVED BY THE CROSS CONNECTION CONTROL OFFICER. A PLUMBING PERMIT IS REQUIRED AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE BY A QUALIFIED JOURNEYMAN PLUMBER. BACKFLOW DEVICES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING FINALS.
  - SURFACE DRAINAGE OVER DRIVEWAY APPROACHES AND SIDEWALKS IS NOT PERMITTED WHEN THE AREA TO BE DRAINED EXCEEDS 1/4 ACRE. SHOW METHOD OF CONVEYING ON SITE STORM WATER TO STREET. DETAIL CATCH BASINS AND PIPE OR CHANNEL SIZES TO BE USED PER CITY STANDARDS.
  - ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
  - WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
  - NOTIFY CITY ELECTRONICS AND COMMUNICATIONS DIVISION, 10 DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION.
  - DEED(S) OF EASEMENTS FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO ISSUANCE OF BUILDING PERMITS.
  - NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
  - INSTALL 12" HIGH ALUMINUM ADDRESS NUMBERS IN A CONSPICUOUS LOCATION ON THE BUILDING SO THAT IT CAN BE EASILY VISIBLE FROM THE STREET PER LOCAL MUNICIPAL CODE. COORDINATE WITH ARCHITECT.
  - IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.

- ### SITE LEGEND
- SITE HATCHES**
- (E) PLANTER AREA TO REMAIN, U.O.N.
  - CONCRETE
  - PLANTER AREA, REFER TO LANDSCAPE AND IRRIGATION PLANS
  - FIRE LANE
  - PATH OF TRAVEL (P.O.T.)
  - 6'-0" CHAIN LINK FENCE
  - EXISTING CHAIN LINK FENCE

### SCOPE OF WORK

TEMPORARY RELOCATABLE MODULAR BUILDINGS, ADDED TO EXISTING CAMPUS COMPRISED OF 31 SINGLE 24'X40' RELOCATABLE CLASSROOM BUILDINGS, THREE (3) 12'X40' RELOCATABLE RESTROOMS, AND TWO (2) 24'X40' RELOCATABLE ADMINISTRATION BUILDINGS TO BE ADDED TO THE EXISTING GEORGE H. FLAMSON MIDDLE SCHOOL SITE.

- ### ACCESSIBLE NOTES
- BETWEEN THE ACCESSIBLE PARKING SPACE AND THE ENTRANCE INTO THE BUILDING, THERE SHALL BE NO VERTICAL OFFSETS MORE THAN 1/2" (MAX. VERT. RISE OF 1/4"), CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED, WITH A SLOPE NO GREATER THAN 1:2.
  - ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE DISABLED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN PARKED CAR/VAN WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS AND RAMPS.
  - ALL ACCESSIBLE PARKING STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE.
  - SITE WALKWAYS SHALL BE 48" WIDE MINIMUM, AND SHALL PROVIDE A BARRIER-FREE ACCESSIBLE PATH OF TRAVEL. WALKWAY SHALL BE A CONTINUOUS, SLIP RESISTANT SURFACE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT UNIT VERTICAL TO 2 UNITS HORIZONTAL MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES NOT EXCEED 1/4" MAXIMUM VERTICAL. ACCESSIBLE ROUTES OF TRAVEL SHALL HAVE GRADIENT SLOPES LESS THAN 1 UNIT VERTICAL TO 20 UNITS HORIZONTAL (5%) WITH A MAXIMUM CROSS SLOPE OF 2%.
  - GATES IN PATH OF TRAVEL MUST COMPLY WITH CBC 2016 18-08.5 DOOR REQUIREMENTS. ALL DOORS TO HAVE A LEVER TYPE OR NON-GRIPPING HANDLE.
  - ALL DOORS TO INCORPORATE A SMOOTH SURFACE 10" HIGH AT THE DOOR BOTTOMS.
  - DOORS SHALL HAVE A LEVEL LANDING AT THE INTERIOR SIDE OF THE DOOR AND A MAXIMUM CROSS SLOPE OF 1/4" PER FOOT (2%) AT THE EXTERIOR SIDE OF THE DOOR.
  - PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY PERMANENT SIGNAGE INDICATING LOCATION OF EACH ACCESSIBLE ENTRY.
  - PERMANENT IDENTIFICATION SIGNAGE FOR ROOMS AND SPACES: ALL ROOM IDENTIFICATION SIGNAGE ON WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR WITH BRAILLE PROPORTIONS CONTRAST, RAISED LETTERS AND SYMBOL (ASD APPLIES), MOUNTING HEIGHT, AND LOCATION PER CBC 2016 18-703 WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE INCLUDING DOUBLE LEAF DOORS. SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT SIDE AT -5'-0" ABOVE F.F.
  - BRAILLE SYMBOLS: CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10" IN (2.54mm) ON CENTERS IN EACH CELL WITH 2/10" IN (5.08mm) SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" IN (0.635mm) ABOVE BACKGROUND.
  - FAUCETS SHALL BE NON-GRIPPING TYPE OR LEVER.
  - EXPOSED PIPING UNDER SINKS SHALL HAVE A PROTECTIVE WRAP.
  - ALL ACCESSIBLE DOORS SHALL HAVE AN OPENING FORCE OF:
    - EXTERIOR DOORS - 5.0 LBS.
    - INTERIOR DOORS - 5.0 LBS.
    - FIRE DOORS - LESS THAN 15.0 LBS.

APPROVED  
DIV. OF THE STATE ARCHITECT  
APP. 03-118912 INC:  
REVIEWED FOR  
SS ☒ FLS ☒ ACS ☒  
DATE: 07/05/2019

1501 NORTH INGRAM #101 - FRESNO, CALIFORNIA 93711  
559.418.8100 - 559.443.8487 - www.simpbk.com

IDENTIFICATION STAMP  
DIVISION OF THE STATE ARCHITECT  
LOS ANGELES REGIONAL OFFICE  
03-118912  
ACS FLS SS  
DATE: 07/05/2019

PROJECT NAME  
**GEORGE H. FLAMSON MS TEMPORARY CAMPUS**  
2405 SPRING ST.  
PASO ROBLES, CA 93446

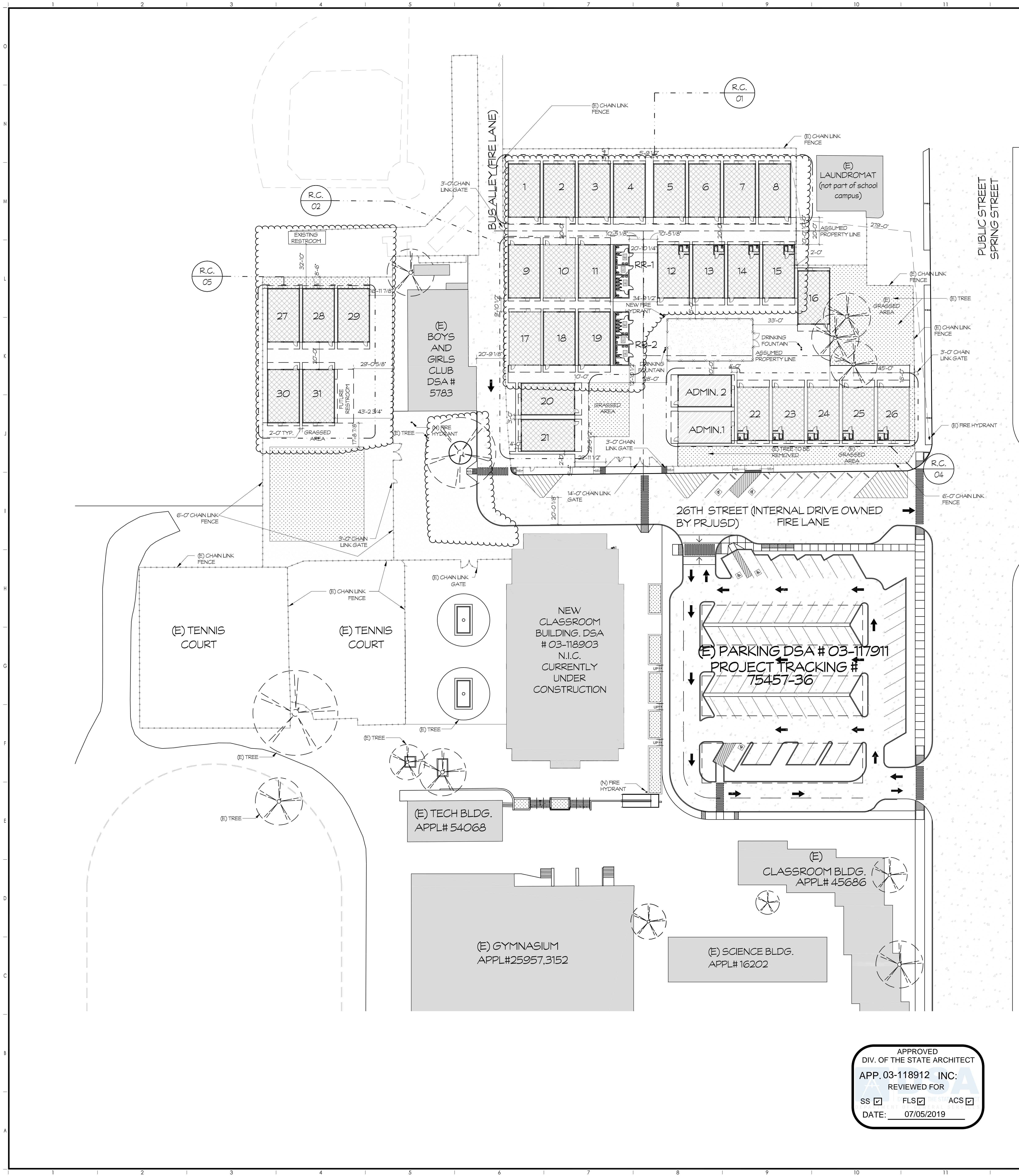
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION	REVISIONS
1	06/17/2019	SITE LAYOUT ADJUSTMENT				
2	06/25/2019	PRECEDENCE SITE REVISIONS				

PROJECT ARCHITECT: DAVID IWANAGA 17-56 PROJECT NUMBER: 17-56  
DRAWN BY: RF SCALE: 1" = 30'-0"  
CHECKED BY: RAFAEL FERRERA 02/04/2019 DATE: 02/04/2019

**SITE PLAN**  
SHEET NUMBER: AS1.0

C:\BENTLEY\Bentley\Projects\03-118912\03-118912.dwg  
07/05/2019 10:52:29 AM  
C:\BENTLEY\Bentley\Projects\03-118912\03-118912.dwg





RELOCATABLE CLUSTER 1 R.C.1	
CONSTRUCTION TYPE:	V-B
OCCUPANCY CLASSIFICATION:	E
FIRE SPRINKLERS:	NO
ALLOWABLE STORES, HEIGHT:	SINGLE STORY
ACTUAL STORES, HEIGHT:	14'-0"
BUILDING AREA:	7,680 S.F.
W/ COVERED AREA:	8,648 S.F.
ALLOWABLE AREA DETERMINATION:	
TABULAR AREA FACTOR:	NS = 9,500 S.F.
FRONTAGE INCREASE (EQ 5-5):	N/A
ALLOWABLE AREA (EQ 5-1):	9,500
TOTAL ALLOWABLE AREA:	9,500 S.F.
DETERMINATION:	E 8,648 S.F. / 9,500 S.F. = .910 (OK)

RELOCATABLE CLUSTER 2 R.C.2	
CONSTRUCTION TYPE:	V-B
OCCUPANCY CLASSIFICATION:	E
FIRE SPRINKLERS:	NO
ALLOWABLE STORES, HEIGHT:	SINGLE STORY
ACTUAL STORES, HEIGHT:	14'-0"
BUILDING AREA:	8,640 S.F.
W/ COVERED AREA:	9,608 S.F.
ALLOWABLE AREA DETERMINATION:	
TABULAR AREA FACTOR:	NS = 9,500 S.F.
FRONTAGE INCREASE (EQ 5-5):	171.67 / 487.33 = .25   20/30 = .12
ALLOWABLE AREA (EQ 5-1):	9,500 + (9,500 X .12) = 10,640
TOTAL ALLOWABLE AREA:	10,640 S.F.
DETERMINATION:	E 9,608 S.F. / 10,640 = .903 (OK)

RELOCATABLE CLUSTER 3 R.C.3	
CONSTRUCTION TYPE:	V-B
OCCUPANCY CLASSIFICATION:	E
FIRE SPRINKLERS:	NO
ALLOWABLE STORES, HEIGHT:	SINGLE STORY
ACTUAL STORES, HEIGHT:	14'-0"
BUILDING AREA:	4,800 S.F.
W/ COVERED AREA:	5,408 S.F.
ALLOWABLE AREA DETERMINATION:	
TABULAR AREA FACTOR:	NS = 9,500 S.F.
FRONTAGE INCREASE (EQ 5-5):	N/A
ALLOWABLE AREA (EQ 5-1):	9,500
TOTAL ALLOWABLE AREA:	9,500 S.F.
DETERMINATION:	E 5,408 S.F. / 9,500 S.F. = .569 (OK)

RELOCATABLE CLUSTER 4 R.C.4	
CONSTRUCTION TYPE:	V-B
OCCUPANCY CLASSIFICATION:	E
FIRE SPRINKLERS:	NO
ALLOWABLE STORES, HEIGHT:	SINGLE STORY
ACTUAL STORES, HEIGHT:	14'-0"
BUILDING AREA:	6,720 S.F.
W/ COVERED AREA:	7,567 S.F.
ALLOWABLE AREA DETERMINATION:	
TABULAR AREA FACTOR:	NS = 9,500 S.F.
FRONTAGE INCREASE (EQ 5-5):	N/A
ALLOWABLE AREA (EQ 5-1):	9,500
TOTAL ALLOWABLE AREA:	9,500 S.F.
DETERMINATION:	E 7,567 S.F. / 9,500 S.F. = .796 (OK)

RELOCATABLE CLUSTER 5 R.C.5	
CONSTRUCTION TYPE:	V-B
OCCUPANCY CLASSIFICATION:	E
FIRE SPRINKLERS:	NO
ALLOWABLE STORES, HEIGHT:	SINGLE STORY
ACTUAL STORES, HEIGHT:	14'-0"
BUILDING AREA:	5,280 S.F.
W/ COVERED AREA:	5,885 S.F.
ALLOWABLE AREA DETERMINATION:	
TABULAR AREA FACTOR:	NS = 9,500 S.F.
FRONTAGE INCREASE (EQ 5-5):	N/A
ALLOWABLE AREA (EQ 5-1):	9,500
TOTAL ALLOWABLE AREA:	9,500 S.F.
DETERMINATION:	B 5,885 S.F. / 9,500 S.F. = .619 (OK)

**EXISTING PARKING LOT DATA**

TOTAL NUMBER OF SPACES: 70 REGULAR + 5 ACCESSIBLE STALLS

ACCESSIBLE STALL REQUIRED: 3 (INCLUDING X VAN ACCESSIBLE STALL PER CBC 2016, 11B-208.2.4 & TABLE 11B-208.2)

ACCESSIBLE STALLS PROVIDED: 5 (INCLUDING X VAN ACCESSIBLE STALLS)

**PATH OF TRAVEL NOTE**

DSA PR-15-01

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT (FORM DSA 140).

## CODE ANALYSIS LEGEND

## SITE LEGEND

- SITE HATCHES**
- (E) PLANTER AREA TO REMAIN, U.O.N.
  - CONCRETE
  - PLANTER AREA, REFER TO LANDSCAPE AND IRRIGATION PLANS
  - FIRE LANE
  - PATH OF TRAVEL (P.O.T.)
  - 6'-0" CHAIN LINK FENCE
  - EXISTING CHAIN LINK FENCE
  - GATES

## RELOCATABLE SCHEDULE

RELO. NO.	RELOCATABLE P.C. REFERENCE	RELO. TYPE	DSA#	RELO. REF.	SERIAL #	REL. OCC. TYPE
01	270	CR	04-10194	MOD TECH	4022/40222	E
02	270	CR	04-10194	MOD TECH	40954/40955	E
03	387	CR	02-101284	AMERICAN MODULAR	998320-672A 998320-672B	E
04	387	CR	02-101284	AMERICAN MODULAR	998320-668A 998320-668B 998320-668C 998320-668D	E
05	387	CR	02-101284	AMERICAN MODULAR	998320-668A 998320-668B 998320-668C 998320-668D	E
06	323	CR	04-101310	AURORA MOD	25919/25920	E
07	323	CR	04-101310	AURORA MOD	25919/25920	E
08	PC-04-100335	CR	04-101310	AURORA MOD	25917/25918	E
09	PC-04-100335	CR	04-101310	AURORA MOD	25917/25918	E
10	PC-04-100335	CR	04-101310	AURORA MOD	25917/25918	E
11	PC-04-100335	CR	04-101310	AURORA MOD	25919/25920	E
12	PC-04-117462	CR	04-11819	ENVIROPLEX	5062/5063	E
13	PC-04-117462	CR	04-11819	ENVIROPLEX	5064/5065	E
14	PC-04-117462	CR	04-11819	ENVIROPLEX	5066/5067	E
15	PC-04-117462	CR	04-11819	ENVIROPLEX	5090/5091	E
16	PC-04-117462	CR	04-11819	ENVIROPLEX	5092/5093	E
17	PC-04-101244	CR	04-103659	MOD STRUCT	24882/24883	E
18	PC-04-101244	CR	04-103659	MOD STRUCT	24882/24883	E
19	253	CR	04-103659	MOD STRUCT	24882/24883	E
20	243	CR	04-103659	MOD STRUCT	24882/24883	E
21	270	CR	04-10194	MOD TECH	4022/40222	E
22	P.C. 04-117462	CR	04-11819	AURORA MOD	25917/25918	E
23	P.C. 04-117462	CR	04-11819	AURORA MOD	25917/25918	E
24	P.C. 04-117462	CR	04-11819	AURORA MOD	25917/25918	E
25	P.C. 04-117462	CR	04-11819	AURORA MOD	25917/25918	E
26	P.C. 04-117462	CR	04-11819	AURORA MOD	25917/25918	E
27	326	CR	A86927	AMERICAN MOD	97-R320/444A/B	E
28	326	CR	A86927	AMERICAN MOD	97-R320/444A/B	E
29	326	CR	A86927	AMERICAN MOD	97-R320/444A/B	E
30	326	CR	A86927	AMERICAN MOD	97-R320/444A/B	E
31	326	CR	A86927	AMERICAN MOD	97-R320/444A/B	E
AD-1	PC-02-104899	OFF. - NO RR	02-105945	ENVIROPLEX	7027/7028	B
AD-2	PC-04-107557	OFF. - NO RR	04-10041	SILVER CREEK	6915/6919	B
RR	118031	RR	118031	FACTORY NEW	SILVER CREEK	N/A
RR-2	118031	RR	118031	FACTORY NEW	SILVER CREEK	N/A

## SCOPE OF WORK

NEW TEMPORARY SCHOOL CAMPUS OF APPROXIMATELY 2 ACRES COMPRISED OF 31 SINGLE 24'X40' RELOCATABLE CLASSROOM BUILDINGS, THREE (3) 12'X40' RELOCATABLE RESTROOMS, AND TWO (2) 24'X40' RELOCATABLE ADMINISTRATION BUILDINGS TO BE ADDED TO THE EXISTING GEORGE H. FLAMSON MIDDLE SCHOOL SITE.



7101 NORTH BROADWAY, SUITE 100, FRESCO, CALIFORNIA 93721  
760.463.8100 | 760.463.8101 | WWW.SIMPBK.COM



**GEORGE H. FLAMSON MS TEMPORARY CAMPUS**

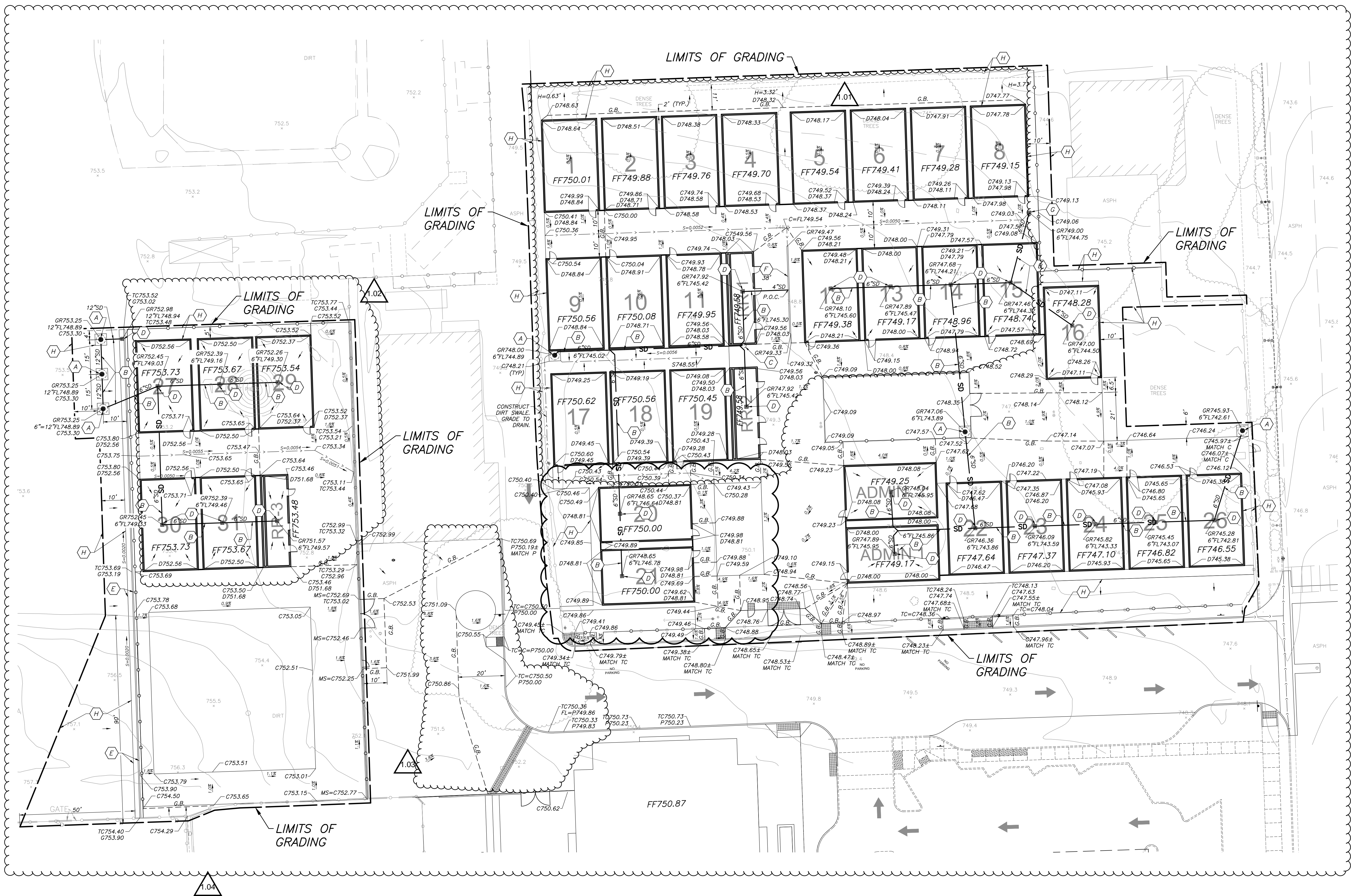
2405 SPRING ST.  
PASO ROBLES, CA 93446

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
001	02/22/2019	REVISIONS	002	02/22/2019	REVISIONS

## SITE CODE ANALYSIS

PROJECT ARCHITECT	PROJECT NUMBER	SHEET NUMBER
DAVID IWANAGAWA	17-58	AT.4
DRAWN BY	SCALE	
RF	1" = 30'-0"	
CHECKED BY	DATE	
RAFAEL FERREIRA	02/04/2019	





# **GRADING AND DRAINAGE LEGEND:**

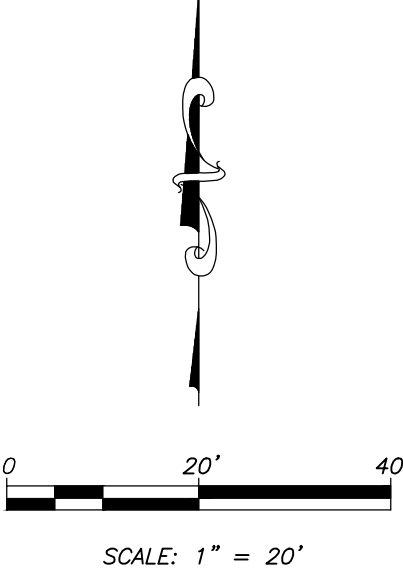
- 801.56 NEW FINISHED GRADE
- C CONCRETE
- D DIRT
- FL FLOWLINE
- G.B. GRADE BREAK
- GR GRATE
- TC TOP OF CURB
- DIRECTION OF DRAINAGE
- 2% SURFACE SLOPE AND DIRECTION OF DRAINAGE
- 0.0050 NEW FLOWLINE SLOPE AND DIRECTION OF FLOW
- NEW STORM DRAINAGE DRAIN WELL
- NEW STORM DRAINAGE INLET
- NEW STORM DRAINAGE PIPE
- NEW GRADE BREAK LINE
- NEW TRENCH DRAIN
- LIMITS OF GRADING
- CONSTRUCT DRAIN WELL PER DETAIL E/C.3.
- FURNISH AND INSTALL PVC SDR-35 STORM DRAIN PIPELINE BACKFILL TRENCH PER DETAIL C/C.3. MINIMUM PIPE SLOPE TO BE 0.56.
- FURNISH AND INSTALL SURFACE CLEANOUT PER DETAIL F/C.3.
- FURNISH AND INSTALL CHRISTY V-64 STORM DRAIN INLET PER DETAIL D/C.3.
- CONSTRUCT CONCRETE CURB AND GUTTER PER DETAIL F/C.3.
- FURNISH AND INSTALL TRENCH DRAIN PER DETAIL H/C.3. LENGTH AS NOTED.
- FURNISH AND INSTALL CHRISTY U-23 STORM DRAIN INLET WITH ADA APPROVED GRATE PER DETAIL I/C.3.
- PROVIDE GRADING TRANSITION PER DETAIL J/C.3.

## **GRADING NOTES:**

- THE "LIMITS OF GRADING" SHOWN ARE SCHEMATIC. THE CONTRACTOR SHALL CUT, FILL, BACKFILL, COMPACT, GRADE AND REGRADE AS NECESSARY TO PERFORM ALL NEW IMPROVEMENTS SHOWN ON THESE PLANS. AREAS BEYOND THE "LIMITS OF GRADING" DISTURBED BY THE ACTIVITIES OF THE CONTRACTOR AS PART OF THIS PROJECT SHALL BE REGRADED TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING UTILITY BOXES, VAULTS AND MANHOLE COVERS AND FRAME TO MATCH ADJACENT FINISHED SURFACE GRADE WITHIN THE "LIMITS OF GRADING". SEE DETAIL G/C.3 IF APPLICABLE.
- THE LOCATION AND ALIGNMENT OF THE STORM DRAIN SYSTEM IS SCHEMATIC. ADJUSTMENTS ARE TO BE MADE IN THE FIELD DUE TO EXISTING UTILITIES AND NEW IMPROVEMENTS.
- FOR OVER-EXCAVATION REQUIREMENTS, REFER TO GEOTECHNICAL ENGINEERING AND GEOLOGIC HAZARDS REPORT, BY EARTH SYSTEMS, FILE NO. SE-15172-57, DATED DECEMBER 12, 2017 AND ALL SUPPLEMENTAL REPORTS AND LETTERS.

APPROVED  
DIV. OF THE STATE ARCHITECT  
APP.03-118912 INC:  
REVIEWED FOR  
SS ☒ FLS ☒ ACS ☒  
DATE: 07/05/2019

REVISED:  
6-25-19



Alan Mok, PE, PLS,  
LEED AP  
Principal  
7415 N. PALM AVENUE #101  
FRESNO, CALIFORNIA 93711  
TEL 559-432-8879  
FAX 559-432-8881  
www.alanmokengineering.com



**Alan Mok Engineering**

7301 NORTH INGRAM AVE., FRESNO, CALIFORNIA 93711  
TEL 559-432-8879 FAX 559-432-8881 www.simpbk.com

IDENTIFICATION STAMP  
DIVISION OF THE STATE ARCHITECT  
LOS ANGELES REGIONAL OFFICE

03-118912

ACCS FLS SS  
DATE: 07/05/2019

PROJECT NAME  
**GEORGE H. FLAMSON MS TEMPORARY CAMPUS**  
2405 SPRING ST.  
PASO ROBLES, CA 93446

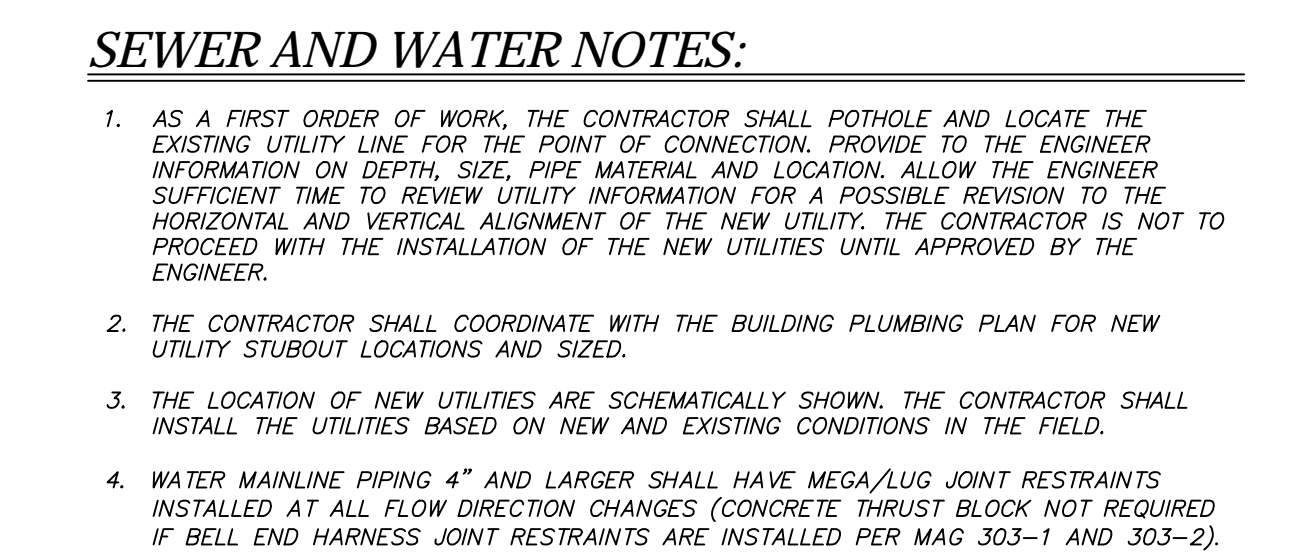
No. DATE DESCRIPTION  
C20-03 06/25/2019 MISCELLANEOUS SITE REVISIONS

**GRADING AND DRAINAGE PLAN**

PROJECT ARCHITECT 17-58 PROJECT NUMBER  
DAVID IWANAGA DRAWN BY SCALE  
RAFAEL FERREIRA CHECKED BY DATE

SHEET NUMBER  
**C1**









July 26, 2019

Rafael Ferreira  
Principal | Architecture  
7790 North Palm Avenue  
Fresno, CA 93711

RE: Flamson Temp Campus  
CPR 14 | 6" Concrete for Vehicle Access  
**Change Order Request: COR 05**

Rafael,

Attached for review and approval please find the costs associated with CPR 14 for added rebar and concrete thickness to accommodate vehicle access.

The Contract time due to this Change Order is increased by: ~~( 2 ) Days~~

	1	JJ Fisher Concrete	\$	10,708.18
		Subtotal:	\$	10,708.18
		<b>Klassen OH&amp;P 5%</b>	<b>\$</b>	<b>535.41</b>
			\$	11,243.59
		Klassen Bond 1%	\$	112.44
		<b>TOTAL:</b>	<b>\$</b>	<b>11,356.02</b>

Sincerely,

KLASSEN CORPORATION

Brian Guiniling  
Project Manager

DATE: 7/12/2019

## FLAMSON MIDDLE SCHOOL TEMPORARY

Sub: JJ FISHER CONSTRUCTION

KLASSEN

COST PROPOSAL #: 4

PASO ROBLES, CA

**COST PROPOSAL****CPR 14**

DESCRIPTION OF CHANGE: ADD DRIVE ISLE 6" THICK WITH #4 REBAR 18" O.C.

ITEM DESCRIPTION	MATERIAL			LABOR			EQUIPMENT		
	QUANTITY	UNIT COST	EXTENSION	QUANTITY	RATE	EXTENSION	QUANTITY	UNIT COST	EXTENSION
CONCRETE	20.35	118.55	2412.4925			\$0.00			\$0.00
#4 REBAR	4491	0.59	2649.69			\$0.00			\$0.00
DOBIES	680	0.4	272			\$0.00			\$0.00
TIE WIRE	3	12.65	37.95			\$0.00			\$0.00
LABOR			0	36	\$71.84	\$2,586.24			\$0.00
SKIP/DRAG			0			\$0.00	8	\$170.00	\$1,360.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
<b>SUBTOTALS:</b>			\$5,372.13			\$2,586.24			\$1,360.00

Sub MATERIAL \$5,372.13  
 Sub SALES TAX (7.75%) \$416.34  
 Sub LABOR \$2,586.24  
 Sub LABOR BURDEN (\_\_\_\_%) \$0.00  
 Sub EQUIPMENT \$1,360.00

Sub SUBTOTAL DIRECT COSTS \$9,734.71  
 Sub FEE ON DIRECT COSTS (10%) \$973.47

**SUBTOTAL \$10,708.18**

**BOND (1%)**

**TOTAL \$10,708.18**

PREPARED &amp; SUBMITTED BY: DAN ROBEL

TITLE/COMPANY: PROJECT MANAGER/JJ FISHER CONSTRUCTION



# Change Proposal Request

**Project:** George H. Flamson Temporary Campus  
Paso Robles Joint Unified School District

**Request No.:** 12-**R1**

**SIM-PBK Project No.:** 17-58

**DSA Project No.:** 03-118912

**Date:** 07/11/2019

**To:** Klassen Corporation  
2021 Westwind Drive  
Bakersfield, CA 93301

**Attention:** Brian Guiniling

This is a request for an itemized quotation in the Contract Sum and/or time for the following proposed modifications to the Contract Documents.

This request is not an authorization for changes or additional work and it does not revise the contract price.

**Description of Work:** Contractor to provide pricing for added 6" slab with #4 rebar at 18" o.c. each way for vehicle access as indicated on the attached drawing.

**Attachments:** DET-4

This change proposal was initiated at the request of the:

☒ **Owner**

☐ Architect

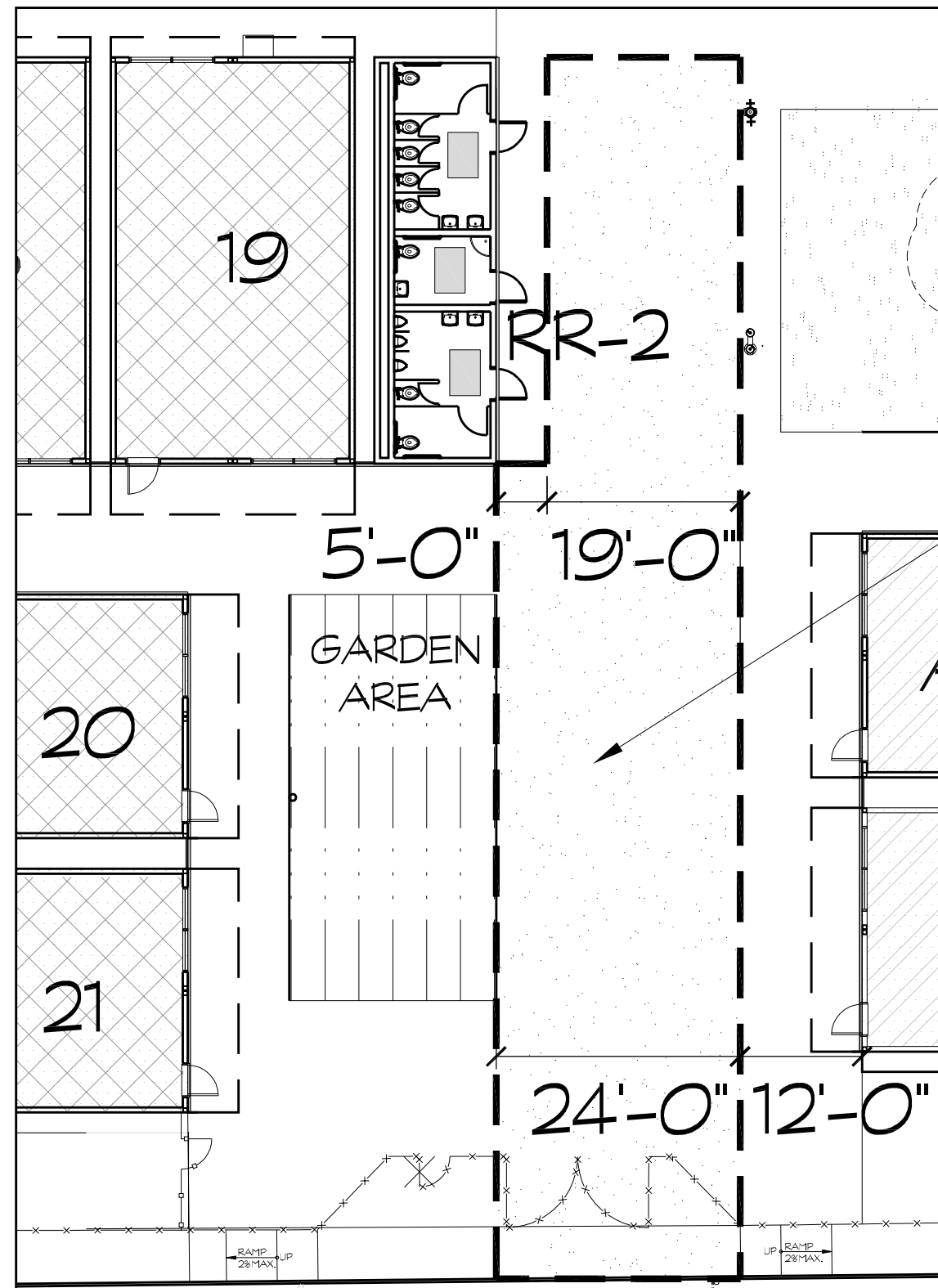
☐ Engineer

☐ Contractor




Rafael Ferreira  
SIM-PBK Architects, Inc.

**Copies to:** Cheryl Mollan, PRJUSD  
Brad Pawlowski, PRJUSD  
Michael Boudreau – SIM-PBK  
File 5B



1 PARTIAL SITE PLAN

SCALE: 1" = 20'-0"

 <p>7790 NORTH PALM AVENUE FRESNO, CALIFORNIA 93711 T 559.448.8400 F 559.448.8467 www.sim-pbk.com</p>	PROJECT	PROJECT No.
	<b>FLAMSON TEMPORARY CAMPUS</b>	<b>17-58</b>
	SHEET DESCRIPTION	SCALE
	<b>ADDED 6" SLAB WITH #4 REBAR AT 18" O.C.</b>	N/A
DATE	SHEET NUMBER	
	<b>DET-4</b>	
07/11/2019	PROJECT MANAGER	
	RAFAEL FERREIRA	

# Change Proposal Request

**Project:** George H. Flamson Temporary Campus  
Paso Robles Joint Unified School District

**Request No.:** 12-**R1**

**SIM-PBK Project No.:** 17-58

**DSA Project No.:** 03-118912

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☐ Architect

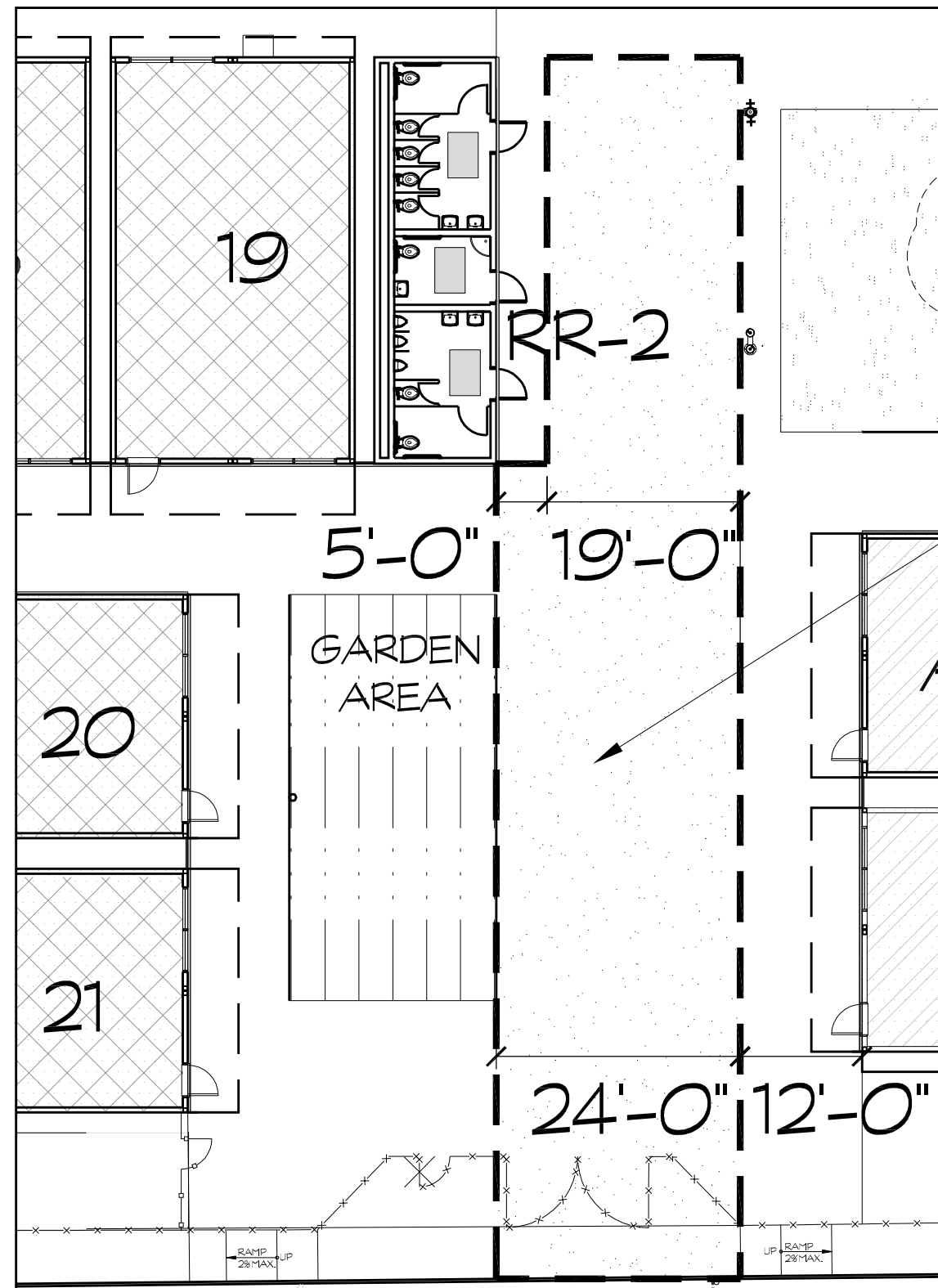
☐ Engineer

☐ Contractor



Rafael Ferreira  
SIM-PBK Architects, Inc.


**Copies to:** Cheryl Mollan, PRJUSD  
Brad Pawlowski, PRJUSD  
Michael Boudreau – SIM-PBK  
File 5B



1 PARTIAL SITE PLAN

SCALE: 1" = 20'-0"

N

 <p>7790 NORTH PALM AVENUE FRESNO, CALIFORNIA 93711 T 559.448.8400 F 559.448.8467 www.sim-pbk.com</p>	PROJECT	PROJECT No.
	<b>FLAMSON TEMPORARY CAMPUS</b>	<b>17-58</b>
	SHEET DESCRIPTION	SCALE
	<b>ADDED 6" SLAB WITH #4 REBAR AT 18" O.C.</b>	N/A
DATE	SHEET NUMBER	
	<b>DET-4</b>	
07/11/2019	PROJECT MANAGER	
	RAFAEL FERREIRA	



OKAY By SIM-PBK

July 26, 2019

Rafael Ferreira  
Principal | Architecture  
7790 North Palm Avenue  
Fresno, CA 93711

RE: Flamson Temp Campus  
CCD 05 / CPR 09-R2 | Vent Detail Revisions (Concrete only)  
**Change Order Request: COR 06**

Rafael,

Attached for review and approval please find the costs associated with CCD 05 / CPR 09-R2 Vent Detail Revisions at concrete sidewalk adjacent to portable buildings to comply with DSA Requirements. Concrete cost only is being submitted at this time for framing, rebar and gravel. Cost forthcoming from Michael Bray Construction for vent material/labor.

The Contract time due to this Change Order is increased by: ~~( 11 ) Days~~

	1	JJ Fisher Concrete		\$	47,282.74
		Subtotal:		\$	47,282.74
		<b>Klassen OH&amp;P 5%</b>		\$	<b>2,364.14</b>
				\$	49,646.88
		Klassen Bond 1%		\$	496.47
		<b>TOTAL:</b>		\$	<b>50,143.35</b>

Sincerely,

KLASSEN CORPORATION

Brian Guiniling  
Project Manager



PLEASE REFERENCE THIS NUMBER  
OR RETURN THIS SHEET WITH YOUR  
COST PROPOSAL. → **RFQ #002**

Klassen Corporation  
2021 Westwind Dr  
Bakersfield, California 93301  
Phone: (661) 489-4954  
Fax: (661) 324-3900

**Project:** 05-3-19004 - Flamson MS Temp Campus (CA)  
2405 Spring Street  
Paso Robles, California CA

---

## CPR 09R2 - CCD 5A | Vent Detail Revisions at Concrete Sidewalk

---

**CREATED BY:** Cat Nelson

**CREATED DATE:** 6/7/2019

JJ Fisher Concrete | Dan Robel

**STATUS:** Out for Pricing

**POTENTIAL CHANGE ORDER:**

**DESCRIPTION:**

CE #012 - CPR 09R2 | CCD 5A Vent Detail Revisions at Concrete Sidewalk

1. Provide pricing for modified Detail A/C4 with added vent detail for concrete sidewalk adjacent to portable buildings to comply with DSA Requirements. See attached Drawing DET1.0 as part of CCD 05A.

**ATTACHMENTS:**

[17-58\\_FTC - CPR-09-R2 - CCD5A Vent Detail Revs at Conc Sidewalk.pdf](#)

**TOTAL COST \$** 47,282.74

---



## SEE 2ND PROPOSAL NEXT PAGE FOR GRAVEL COST

DATE: 6/12/2019

FLAMSON TEMPORARY

Sub: JJ FISHER CONSTRUCTION

KLASSEN

COST PROPOSAL #: 002R RFQ2

PASO ROBLES

**COST PROPOSAL**

DESCRIPTION OF CHANGE: FORM FOR AIR GAP PER RFQ #2R

ITEM DESCRIPTION	MATERIAL			LABOR			EQUIPMENT		
	QUANTITY	UNIT COST	EXTENSION	QUANTITY	RATE	EXTENSION	QUANTITY	UNIT COST	EXTENSION
LABOR			0	347	\$71.84	\$24,928.48			\$0.00
FORMS/STAKES/PVC	1	7979	7979			\$0.00			\$0.00
#3 REBAR	3781	0.3	1134.3			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
<b>SUBTOTALS:</b>			\$9,113.30			\$24,928.48			\$0.00

Sub MATERIAL \$9,113.30

Sub SALES TAX (7.75%) \$706.26

Sub LABOR \$24,928.48

0

Sub EQUIPMENT \$0.00

Sub SUBTOTAL DIRECT COSTS \$34,748.04

Sub FEE ON DIRECT COSTS (10%) \$3,474.81

**SUBTOTAL \$38,222.85****BOND (1%)****TOTAL \$38,222.85**

PREPARED &amp; SUBMITTED BY: DAN ROBEL

TITLE/COMPANY: PROJECT MANAGER

DATE: 6/12/2019

FLAMSON TEMPORARY

Sub: JJ FISHER CONSTRUCTION

KLASSEN

COST PROPOSAL #: 3

PASO ROBLES

**COST PROPOSAL**

DESCRIPTION OF CHANGE: SUPPLY AND INSTALL 3/4" ROCK AT BOTTOM OF AIR SPACE AROUND BUILDINGS

ITEM DESCRIPTION	MATERIAL			LABOR			EQUIPMENT		
	QUANTITY	UNIT COST	EXTENSION	QUANTITY	RATE	EXTENSION	QUANTITY	UNIT COST	EXTENSION
3/4" ROCK	15	28	420			\$0.00			\$0.00
SKIP AND DRAG			0			\$0.00	3	\$600.00	\$1,800.00
OPERATOR			0	24	\$74.90	\$1,797.60			\$0.00
LABHORERS			0	48	\$56.28	\$2,701.44			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
			0			\$0.00			\$0.00
<b>SUBTOTALS:</b>			\$420.00			\$4,499.04			\$1,800.00

Sub MATERIAL \$420.00

Sub SALES TAX (7.75%) \$32.55

Sub LABOR \$4,499.04

Sub LABOR BURDEN ( \_\_ 33 \_\_ %) \$1,484.67

Sub EQUIPMENT \$1,800.00

Sub SUBTOTAL DIRECT COSTS \$8,236.26

Sub FEE ON DIRECT COSTS (10%) \$823.63

**SUBTOTAL \$9,059.89****BOND (1%)****TOTAL \$9,059.89**

PREPARED &amp; SUBMITTED BY: DAN ROBEL

TITLE/COMPANY: PROJECT MANAGER/JJ FISHER CONSTRUCTION

# Change Proposal Request

**Project:** George H. Flamson Temporary Campus  
Paso Robles Joint Unified School District

**Request No.:** 09-**R2**

**SIM-PBK Project No.:** 17-58

**DSA Project No.:** 03-118912

**Date:** 06/06/2019

**To:** Klassen Corporation  
2021 Westwind Drive  
Bakersfield, CA 93301

**Attention:** Brian Guiniling

This is a request for an itemized quotation in the Contract Sum and/or time for the following proposed modifications to the Contract Documents.

This request is not an authorization for changes or additional work and it does not revise the contract price.

**Description of Work:** Contractor to provide pricing for modified detail A/C4 with added vent detail for concrete sidewalk adjacent to portable buildings to comply with DSA requirements.

**Attachments:** CCD-05-R1

This change proposal was initiated at the request of the:

☐ Owner

☒ **Architect**

☐ Engineer

☐ Contractor



Rafael Ferreira  
SIM-PBK Architects, Inc.

**Copies to:** Cheryl Mollan, PRJUSD  
Brad Pawlowski, PRJUSD  
Michael Boudreau – SIM-PBK  
File 5B

## APPLICATION FOR APPROVAL OF CONSTRUCTION CHANGE DOCUMENT – CCD CATEGORY A/B

This application is for construction changes, as defined in IR A-6, to approved contract documents. This form shall be completed by the Design Professional in General Responsible Charge of the project, in accordance with California Code of Regulations, Title 24, Part 1, Section 4-338 (c) and in compliance with DSA IR A-6.

School District/Owner:	DSA File #: -
Project Name/School:	DSA App. #: -


### APPLICANT

CCD Cat. <input type="checkbox"/> A / <input type="checkbox"/> B, #:	Date Submitted:	Attached Pages?: <input type="checkbox"/> No <input type="checkbox"/> Yes (____pages)
For CCD Cat. B, this is a <input type="checkbox"/> voluntary submittal, <input type="checkbox"/> DSA required submittal (attach DSA notification requiring submission).		
Firm Name:	Contact Name:	
Email:	Phone Number:	
Address:		
City:	State:	Zip:
<input type="checkbox"/> A DSA 301-N, DSA 301-P, or 90-Day Letter has been issued for this project.		
<input type="checkbox"/> For project currently under construction.		
<input type="checkbox"/> To obtain DSA approval of existing uncertified building(s).		

### DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE

Name of Design Professional in General Responsible Charge:	
Professional License #:	Discipline:

**Design Professional in General Responsible Charge Statement:** The attached Construction Change Documents have been examined by me for design intent and appear to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications. They are acceptable for incorporation into the construction of the project.

**Signature:**   
DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE

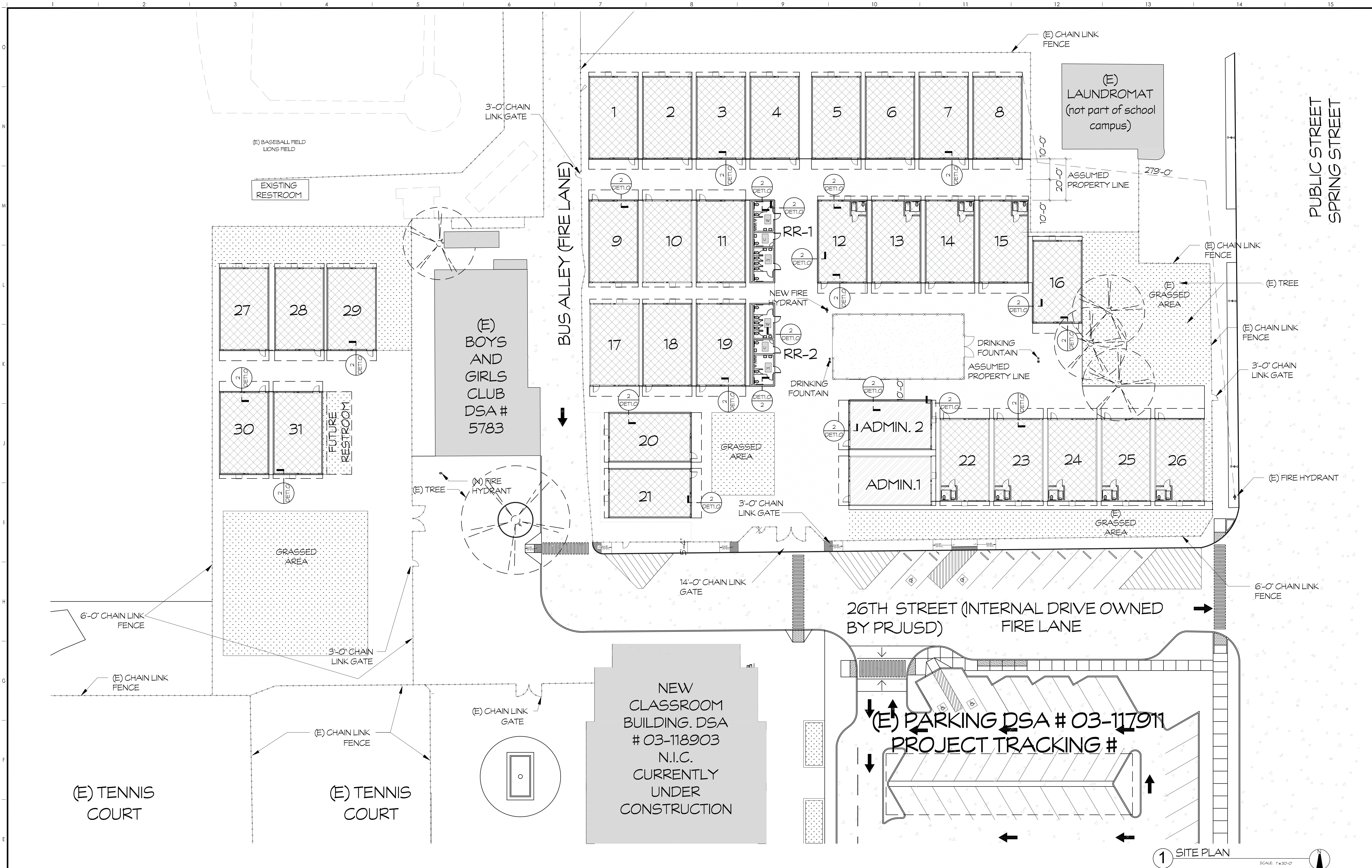
**CHECK THIS BOX:** ☐ To confirm that **all** CCD drawings and, when applicable, first sheet or index of calculations and specifications have been stamped and signed by the Responsible Design Professional listed on DSA 1 for this this project.

Brief description of construction change (attach additional sheets if needed):

List of DSA approved drawings affected by this CCD:

DSA USE ONLY	DSA Stamp
SSS_____Date_____ Approved / Disapproved / Not Req'd FLS_____Date_____ Approved / Disapproved / Not Req'd ACS_____Date_____ Approved / Disapproved / Not Req'd Remarks_____	For business office use only Date Sent_____ Return By_____ Delivery Method_____ 





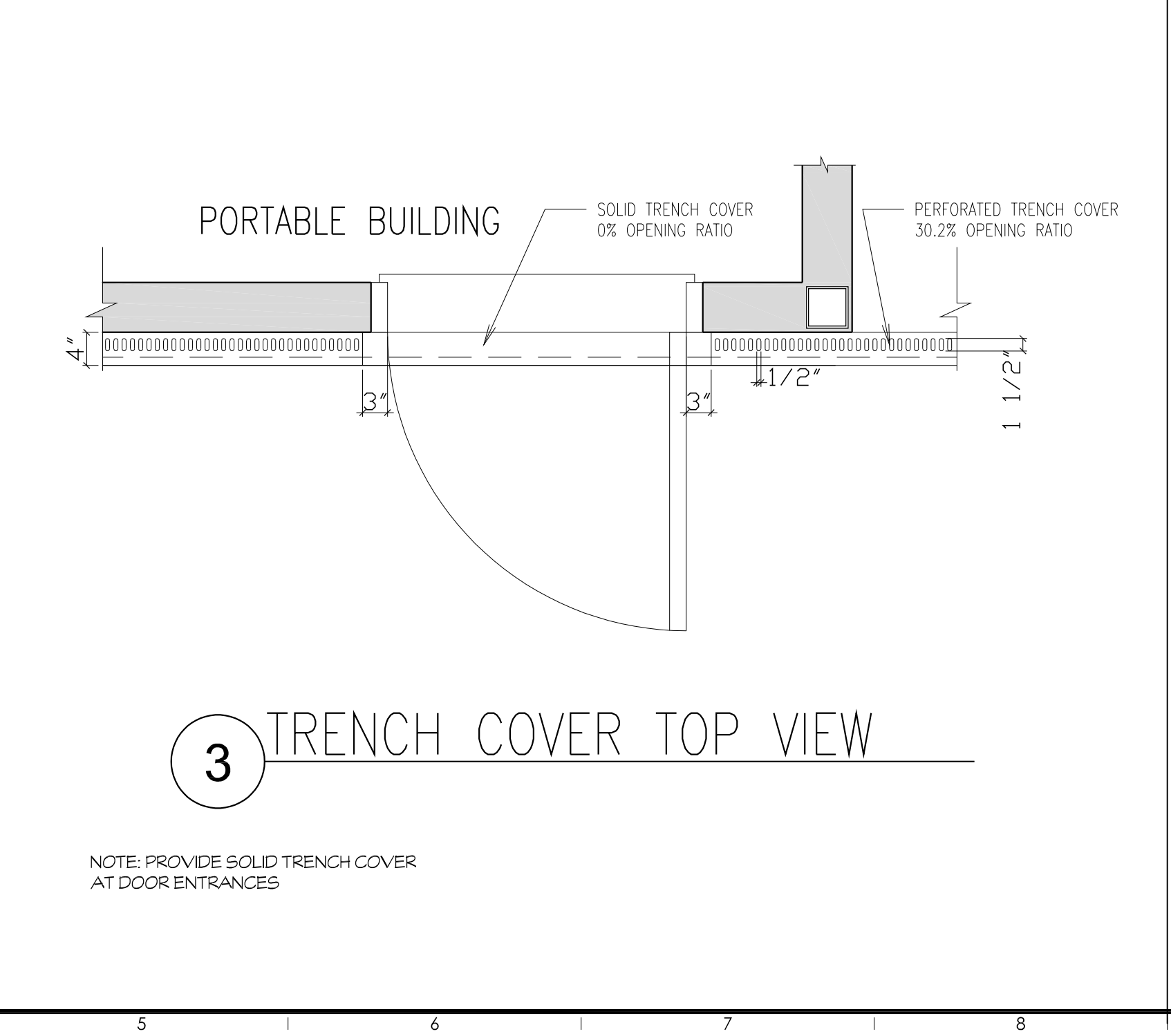
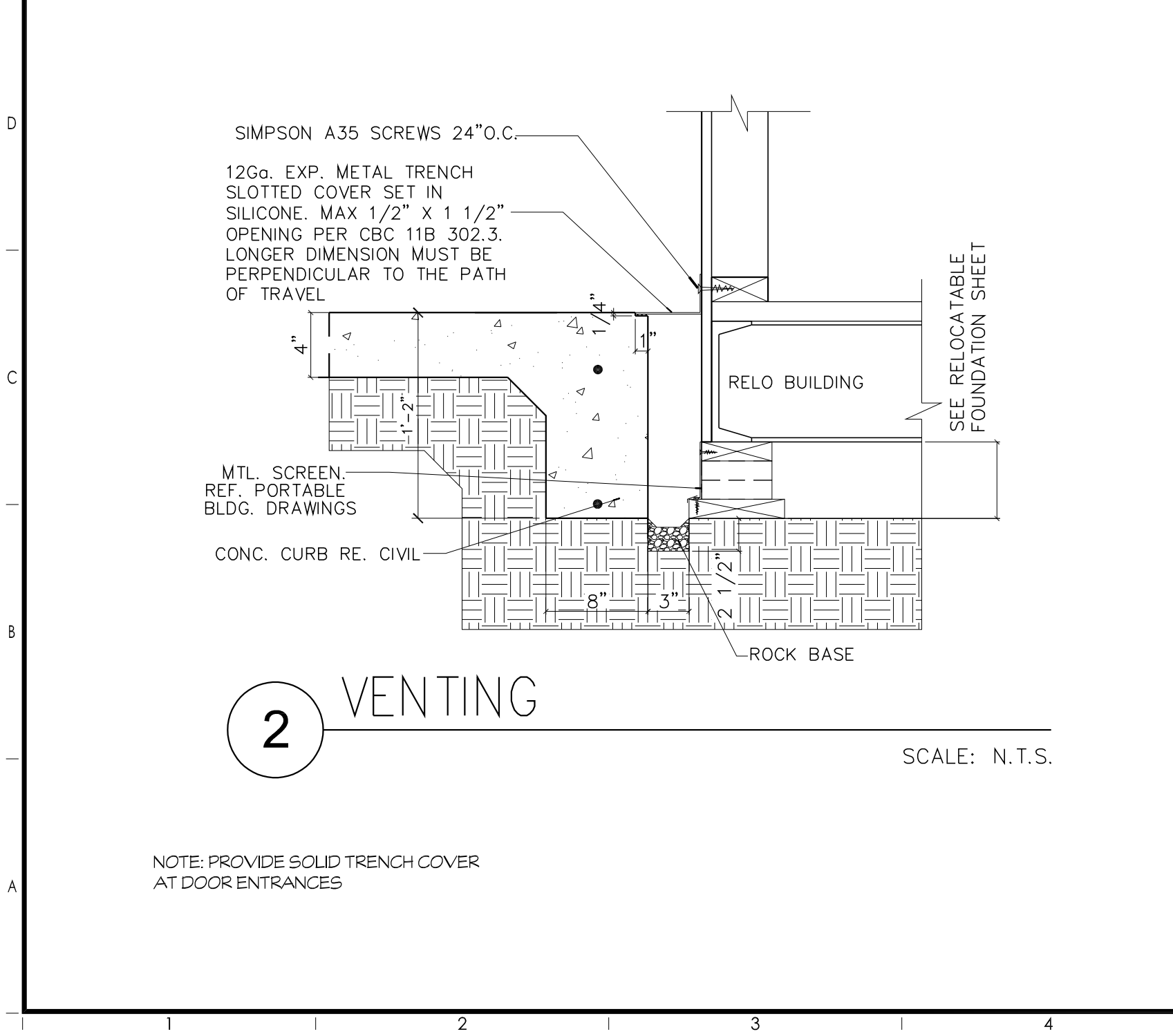
- ### SITE NOTES
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  - ALL EXISTING APPROACHES WHICH NO LONGER PROVIDED ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER, AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED. AUTHORITY: P.C. 11-209.
  - ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
  - NO OPEN TRENCH IN STREETS ALLOWED. ALL UTILITY CONNECTIONS MUST BE BORED. ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE OWNER. CONTACT TRAFFIC ENGINEER FOR INFORMATION REGARDING REIMBURSEMENTS RELATIVE TO RELOCATING TRAFFIC SIGNAL FACILITIES. FIRE HYDRANTS WILL BE RELOCATED BY CITY FORCES. DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION TO ARRANGE AND COORDINATE WORK.
  - A BACKFLOW PREVENTION DEVICE IS REQUIRED. CONTACT THE CITY WATER DIVISION FOR REQUIREMENTS. DEVICES MUST BE INSTALLED ON-SITE IN A LOCATION APPROVED BY THE CROSS CONNECTION CONTROL OFFICER. A PLUMBING PERMIT IS REQUIRED AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE BY A QUALIFIED JOURNEYMAN PLUMBER CERTIFIED AS COMPETENT FOR SUCH PURPOSES BY THE WATER SYSTEMS MANAGER. BACKFLOW DEVICES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING FINAL.
  - SURFACE DRAINAGE OVER DRIVEWAY APPROACHES AND SIDEWALKS IS NOT PERMITTED WHEN THE AREA TO BE DRAINED EXCEEDS 1/4 ACRE. SHOW METHOD OF CONVEYING ON SITE STORMWATER TO STREET. DETAIL CATCH BASINS AND PIPE OR CHANNEL SIZES TO BE USED PER CITY STANDARDS.
  - ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
  - WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
  - NOTIFY CITY ELECTRONICS AND COMMUNICATIONS DIVISION, 10 DAYS PRIOR TO ANY OFFSITE CONCRETE CONSTRUCTION.
  - PERMITS OF EASEMENT FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO ISSUANCE OF BUILDING PERMITS.
  - NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
  - INSTALL 12" HIGH ALUMINUM ADDRESS NUMBERS IN A CONSPICUOUS LOCATION ON THE BUILDING SO THAT IT CAN BE EASILY VISIBLE FROM THE STREET PER LOCAL MUNICIPAL CODE. COORDINATE WITH ARCHITECT.
  - IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.

- ### SITE LEGEND
- SITE HATCHES**
- (E) PLANTER AREA TO REMAIN, U.O.N.
  - CONCRETE
  - PLANTER AREA, REFER TO LANDSCAPE AND IRRIGATION PLANS
  - FIRE LANE
  - PATH OF TRAVEL (P.O.T.)
  - 6'-0" CHAIN LINK FENCE
  - EXISTING CHAIN LINK FENCE

### SCOPE OF WORK

TEMPORARY RELOCATABLE MODULAR BUILDINGS, ADDED TO EXISTING CAMPUS COMPRSED OF 31 SINGLE CLASSROOM BUILDINGS, TWO (2) 12'X40' RELOCATABLE RESTROOMS, AND TWO (2) 24'X40' RELOCATABLE ADMINISTRATION BUILDINGS TO BE ADDED TO THE EXISTING GEORGE H. FLAMSON MIDDLE SCHOOL SITE.

- ### ACCESSIBLE NOTES
- BETWEEN THE ACCESSIBLE PARKING SPACE AND THE ENTRANCE INTO THE BUILDING, THERE SHALL BE NO VERTICAL OFFSETS MORE THAN 1/2" (MAX. VERT. RISE OF 1/4") CHANGES IN LEVEL. BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
  - ALL ACCESSIBLE PARKING SPACES SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMP OR IN STRATEGIC AREAS WHERE THE DISABLED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN PARKED CAR/VAN WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING SPACES AND RAMP.
  - ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE.
  - SITE WALKWAYS SHALL BE AS WIDE MINIMUM, AND SHALL PROVIDE A BARRIER-FREE ACCESSIBLE PATH OF TRAVEL. WALKWAY SHALL BE A CONTINUOUS, SLIP RESISTANT SURFACE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES NOT EXCEED 1/4" MAXIMUM VERTICAL. ACCESSIBLE ROUTES OF TRAVEL SHALL HAVE GRADIENT SLOPES LESS THAN 1 UNIT VERTICAL TO 20 UNITS HORIZONTAL (5%) WITH A MAXIMUM CROSS SLOPE OF 2% GATES IN PATH OF TRAVEL MUST COMPLY WITH CBC 2016 11B-206.5 DOOR REQUIREMENTS.
  - ALL DOORS TO HAVE A LEVER TYPE OR NON-GRIPPING HANDLE.
  - ALL DOORS TO INCORPORATE A SMOOTH SURFACE 12" HIGH AT THE DOOR BOTTOMS.
  - DOORS SHALL HAVE A LEVEL LANDING AT THE INTERIOR SIDE OF THE DOOR AND A MAXIMUM CROSS SLOPE OF 1/4" PER FOOT (2%) AT THE EXTERIOR SIDE OF THE DOOR.
  - PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY PERMANENT SIGNAGE INDICATING LOCATION OF EACH ACCESSIBLE ENTRY.
  - PERMANENT IDENTIFICATION SIGNAGE FOR ROOMS AND SPACES: ALL ROOM IDENTIFICATION SIGNAGE ON WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR WITH BRILLE PROPORTIONS CONTRAST, RAISED LETTERS AND SYMBOL (ASO APPLIES) MOUNTING HEIGHT, AND LOCATION PER CBC 2016 11B-103 WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT SIDE AT 45-0" ABOVE F.F.
  - BRILLE SYMBOLS: CONTRACTED GRADE 3 BRILLE SHALL BE USED WHEREVER BRILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 IN. (2.54mm) ON CENTERS IN EACH CELL WITH 2/10 IN. (5.08mm) SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40 IN. (0.635mm) ABOVE BACKGROUND.
  - FAUCETS SHALL BE NON-GRIPPING TYPE OR LEVER.
  - EXPOSED PIPING UNDER SINKS SHALL HAVE A PROTECTIVE WRAP.
  - ALL ACCESSIBLE DOORS SHALL HAVE AN OPENING FORCE OF:
    - EXTERIOR DOORS - 5.0 LBS.
    - INTERIOR DOORS - 5.0 LBS.
    - FIRE DOORS - LESS THAN 15.0 LBS.



1781 NORTH INGRAM AVE. | TRENTON, CALIFORNIA 91711  
760.445.8400 | 760.445.4800 | WWW.SIMPRBK.COM

IDENTIFICATION STAMP  
DIVISION OF THE STATE ARCHITECT  
LOS ANGELES REGIONAL OFFICE  
03-118912  
ACS FLS SS  
DATE

PROJECT NAME  
**GEORGE H. FLAMSON MS TEMPORARY CAMPUS**  
2405 SPRING ST.  
PASO ROBLES, CA 93446

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
REVISIONS					

SHEET NAME  
**ENLARGED SITE PLAN**

PROJECT ARCHITECT	PROJECT NUMBER	SCALE	SHEET NUMBER
DAVID IWANAGA	17-58	T = 20'-0"	DET1.0
RF	CHECKED BY	DATE	
RAFAEL FERREIRA	06/04/2019		



## APPLICATION FOR APPROVAL OF CONSTRUCTION CHANGE DOCUMENT – CCD CATEGORY A/B

This application is for construction changes, as defined in IR A-6, to approved contract documents. This form shall be completed by the Design Professional in General Responsible Charge of the project, in accordance with California Code of Regulations, Title 24, Part 1, Section 4-338 (c) and in compliance with DSA IR A-6.

School District/Owner:	DSA File #: -
Project Name/School:	DSA App. #: -


### APPLICANT

CCD Cat. <input type="checkbox"/> A / <input type="checkbox"/> B, #:	Date Submitted:	Attached Pages?: <input type="checkbox"/> No <input type="checkbox"/> Yes (____pages)
For CCD Cat. B, this is a <input type="checkbox"/> voluntary submittal, <input type="checkbox"/> DSA required submittal (attach DSA notification requiring submission).		
Firm Name:	Contact Name:	
Email:	Phone Number:	
Address:		
City:	State:	Zip:
<input type="checkbox"/> A DSA 301-N, DSA 301-P, or 90-Day Letter has been issued for this project.		
<input type="checkbox"/> For project currently under construction.		
<input type="checkbox"/> To obtain DSA approval of existing uncertified building(s).		

### DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE

Name of Design Professional in General Responsible Charge:	
Professional License #:	Discipline:

**Design Professional in General Responsible Charge Statement:** The attached Construction Change Documents have been examined by me for design intent and appear to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications. They are acceptable for incorporation into the construction of the project.

**Signature:**   
DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE

**CHECK THIS BOX:** ☐ To confirm that **all** CCD drawings and, when applicable, first sheet or index of calculations and specifications have been stamped and signed by the Responsible Design Professional listed on DSA 1 for this this project.

Brief description of construction change (attach additional sheets if needed):

List of DSA approved drawings affected by this CCD:

DSA USE ONLY		For business office use only	<div style="border: 2px solid black; border-radius: 15px; padding: 10px; text-align: center;"> APPROVED  DIV. OF THE STATE ARCHITECT  APP. 03-118912 CCD005  REVIEWED FOR:  SS <input checked="" type="checkbox"/> FLS <input type="checkbox"/> ACS <input type="checkbox"/>  DATE: 06/12/2019 </div>
SSS <u>PF</u> Date <u>6/12/19</u> <span style="border: 1px solid red; padding: 2px;">Approved</span> Disapproved / Not Req'd			
FLS _____ Date _____ Approved / Disapproved <span style="border: 1px solid red; padding: 2px;">Not Req'd</span>		Return By _____	
ACS _____ Date _____ Approved / Disapproved <span style="border: 1px solid red; padding: 2px;">Not Req'd</span>		Delivery Method _____	
Remarks _____			





July 31, 2019

Rafael Ferreira  
Principal | Architecture  
7790 North Palm Avenue  
Fresno, CA 93711

RE: Flamson Temp Campus  
Electrical Revisions  
**Change Order Request: COR 13R1**

Rafael,

Attached for review and **immediate** approval please find the costs associated with installing the sink and countertop in Classrooms 25 & 26. **NOTE: This revision reflects that there is an ADD ALTERNATE to the countertop if so desired.**

Upon approval, we'll get our subcontractors scheduled ASAP.

1	J Noble Binn - Plumbing		\$	10,641.13
2	Cal Kern - Plastic Laminate Countertop		\$	3,412.00
	Subtotal for Plumbing and P-Lam Countertop:		\$	14,053.13
	<b>Klassen OH&amp;P 5%</b>		\$	<b>702.66</b>
	Subtotal		\$	14,755.79
	Klassen Bond 1%		\$	147.56
	<b>TOTAL:</b>		\$	<b>14,903.34</b>
	Cal Kern -- Alternate for Solid Countertops	ADD	\$	2,250.00

Sincerely,

KLASSEN CORPORATION

Brian Guiniling  
Project Manager

# Proposal

---

**GHF Temporary Campus**  
2405 Spring Street  
Paso Robles CA

Date: 07/24/2019  
Customer: Klassen Corporation

Installation on Saturday 08/03/2019

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## Summary of Work

1. Furnish and Install Two Plastic Laminate Countertops and In-Wall Brackets
2. Furnish and Install Two Solid Surface Countertops as alternate.
3. No Patch Back on Walls from In-Wall Bracket Installation.
4. Prevailing Wage Noted DIR# 1000003733
5. Overtime Installation Noted
6. No Submittals Noted
7. No Spec Noted
8. No Bonding Noted
9. No W.I. Certificates Noted

Units 25 & 26	SUM of Total
Plastic Laminate Countertops Installed	\$3,412.00
Add for Solid Surface Countertops	\$2,250.00
<b>Grand Total</b>	<b>\$5,662.00</b>



**J. Noble Binns**  
**Plumbing Co. Inc.**  
Lic. # 481544

3529 Pegasus Drive  
Bakersfield, CA 93308  
661 615-6101 telephone  
661 615-6108 fax

07/25/19

## Cost Proposal

CP#: 19112 - 103

Submitted to:

KLASSEN CORP.  
2021 WESTWIND DR.  
BAKERSFIELD CA 93301

Project: 19-112

FLAMSON MS TEMPORARY CAMPUS  
DIR #278687  
2405 SPRING STREET  
PASO ROBLES CA 93446

FAX: (661) 324-3900

Description of Work: Supply labor, material and equipment to provide and install sinks in units 25 & 26 per CPR #13  
Replaces CP#19112-102

Description	Quantity	Unit	Unit Price	Ext. Price
<b>Material</b>				
PROFLO SINK W/ DELTA FAUCET	2.00	EA	445.00	890.00
PIPE, VALVES & FITTINGS	2.00	EA	1,103.00	2,206.00
		Subtotal	Material	\$3,096.00
			Tax	239.95
		Subtotal Material and Tax		\$3,335.95
<b>Labor</b>				
LABOR - PLUMBER (2 MEN)	56.00	HR	93.50	5,236.00
PER DIEM	56.00	HR	10.50	588.00
		Subtotal	Labor	\$5,824.00
<b>Equipment</b>				
ONE TON UTILITY TRUCK	28.00	HR	18.35	513.80
		Subtotal	Equipment	\$513.80
		Total Cost		\$9,673.75
		10% Overhead/Profit		967.38
		<b>Requested Amount of Change</b>		<b>\$10,641.13</b>

We agree to make the changes as specified above

for J. Noble Binns Plumbing Co., Inc.

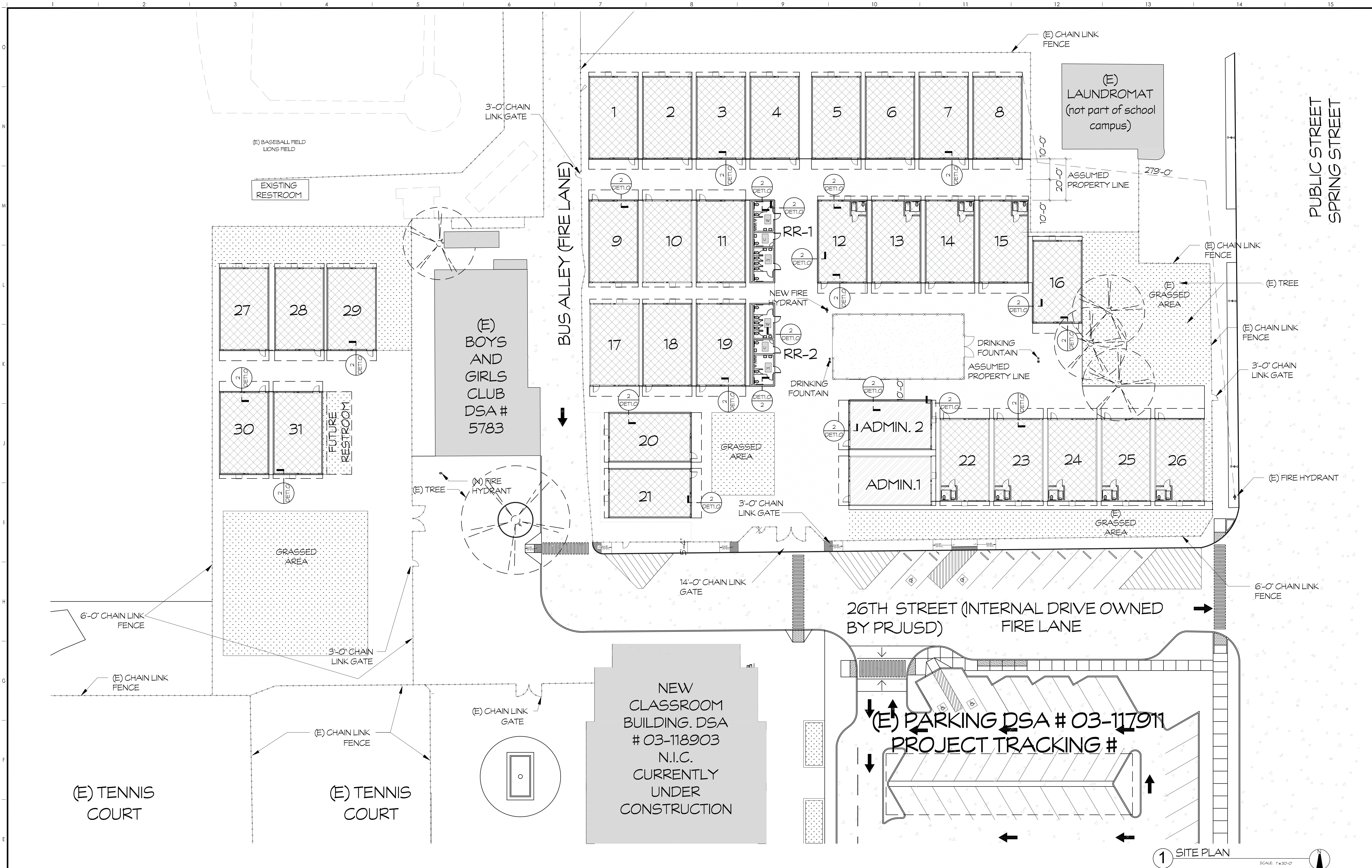
07/25/2019

Date

Accepted: The above prices and specifications of this Cost Proposal are satisfactory and are hereby accepted. All work to be performed under same terms and conditions as specified in original contract unless otherwise stipulate

Signature: \_\_\_\_\_ Date \_\_\_\_\_





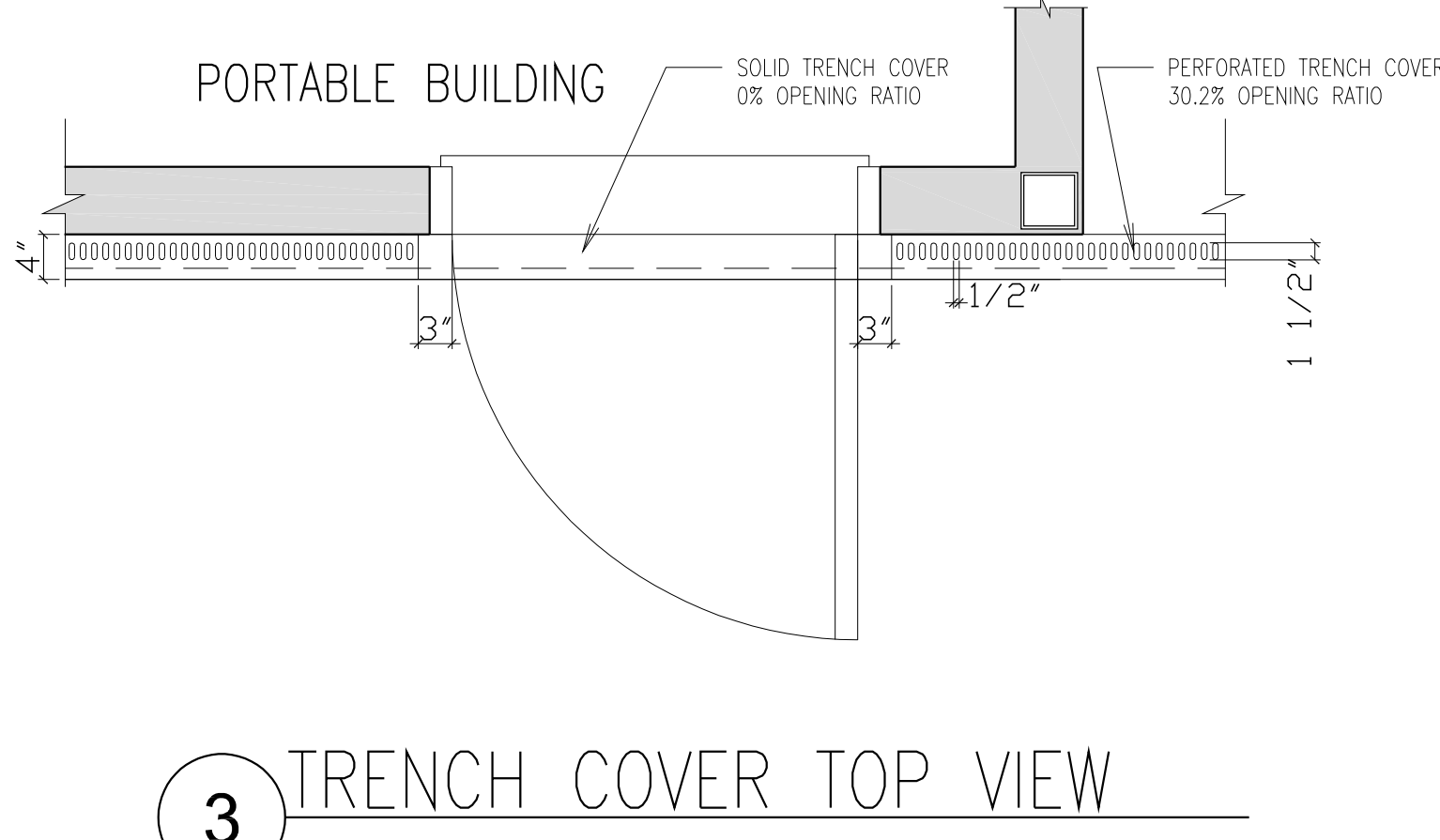
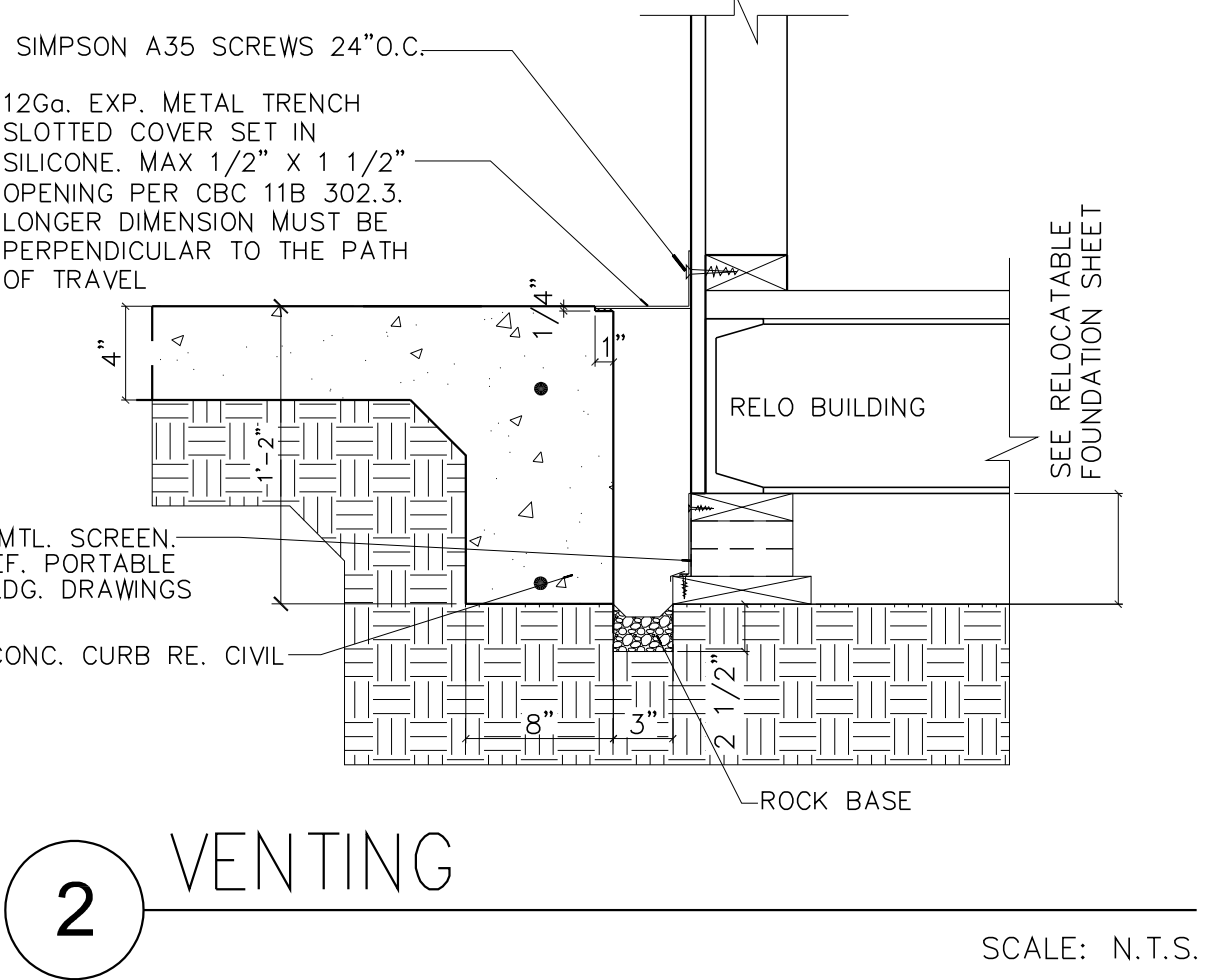
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- ### SITE LEGEND
- SITE HATCHES**
- (E) PLANTER AREA TO REMAIN, U.O.N.
  - CONCRETE
  - PLANTER AREA, REFER TO LANDSCAPE AND IRRIGATION PLANS
  - FIRE LANE
  - PATH OF TRAVEL (P.O.T.)
  - 6'-0" CHAIN LINK FENCE
  - EXISTING CHAIN LINK FENCE

### SCOPE OF WORK

TEMPORARY RELOCATABLE MODULAR BUILDINGS, ADDED TO EXISTING CAMPUS COMPRSED OF 31 SINGLE CLASSROOM BUILDINGS, TWO (2) 12'X40' RELOCATABLE RESTROOMS, AND TWO (2) 24'X40' RELOCATABLE ADMINISTRATION BUILDINGS TO BE ADDED TO THE EXISTING GEORGE H. FLAMSON MIDDLE SCHOOL SITE.

- ### ACCESSIBLE NOTES
- BETWEEN THE ACCESSIBLE PARKING SPACE AND THE ENTRANCE INTO THE BUILDING, THERE SHALL BE NO VERTICAL OFFSETS MORE THAN 1/2" (MAX. VERT. RISE OF 1/4") CHANGES IN LEVEL. BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
  - ALL ACCESSIBLE PARKING SPACES SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMP OR IN STRATEGIC AREAS WHERE THE DISABLED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES OTHER THAN THEIR OWN PARKED CAR/VAN WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING SPACES AND RAMP.
  - ALL ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND A WARNING THAT VEHICLES IN VIOLATION OF THE MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE.
  - SITE WALKWAYS SHALL BE 4' WIDE MINIMUM, AND SHALL PROVIDE A BARRIER-FREE ACCESSIBLE PATH OF TRAVEL. WALKWAY SHALL BE A CONTINUOUS, SLIP RESISTANT SURFACE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" AT 1' UNIT VERTICAL TO 2' UNITS HORIZONTAL MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES NOT EXCEED 1/4" MAXIMUM VERTICAL. ACCESSIBLE ROUTES OF TRAVEL SHALL HAVE GRADIENT SLOPES LESS THAN 1' UNIT VERTICAL TO 20' UNITS HORIZONTAL (5%) WITH A MAXIMUM CROSS SLOPE OF 2% GATES IN PATH OF TRAVEL MUST COMPLY WITH CBC 2016 11B-206.5 DOOR REQUIREMENTS.
  - ALL DOORS TO HAVE A LEVER TYPE OR NON-GRIPPING HANDLE.
  - ALL DOORS TO INCORPORATE A SMOOTH SURFACE 12" HIGH AT THE DOOR BOTTOMS.
  - DOORS SHALL HAVE A LEVEL LANDING AT THE INTERIOR SIDE OF THE DOOR AND A MAXIMUM CROSS SLOPE OF 1/4" PER FOOT (2%) AT THE EXTERIOR SIDE OF THE DOOR.
  - PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY PERMANENT SIGNAGE INDICATING LOCATION OF EACH ACCESSIBLE ENTRY.
  - PERMANENT IDENTIFICATION SIGNAGE FOR ROOMS AND SPACES: ALL ROOM IDENTIFICATION SIGNAGE ON WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR WITH BRILLE PROPORTIONS CONTRAST, RAISED LETTERS AND SYMBOL (ASO APPLIES) MOUNTING HEIGHT, AND LOCATION PER CBC 2016 11B-103 WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT SIDE AT 45-57" ABOVE F.F.
  - BRILLE SYMBOLS: CONTRACTED GRADE 3 BRILLE SHALL BE USED WHEREVER BRILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 IN. (2.54mm) ON CENTERS IN EACH CELL WITH 2/10 IN. (5.08mm) SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40 IN. (2.63mm) ABOVE BACKGROUND.
  - FAUCETS SHALL BE NON-GRIPPING TYPE OR LEVER.
  - EXPOSED PIPING UNDER SINKS SHALL HAVE A PROTECTIVE WRAP.
  - ALL ACCESSIBLE DOORS SHALL HAVE AN OPENING FORCE OF:  
EXTERIOR DOORS - 5.0 LBS.  
INTERIOR DOORS - 5.0 LBS.  
FIRE DOORS - LESS THAN 15.0 LBS.



APPROVED  
DIV. OF THE STATE ARCHITECT  
APP. 03-118912 CCD005  
REVIEWED FOR:  
SS ☒ FLS ☐ ACS ☐  
DATE: 06/12/2019

1781 NORTH INGRAM AVE. | TRENTON, CALIFORNIA 91711  
760.448.8484 | 1.800.448.8484 | WWW.SIMPBK.COM

IDENTIFICATION STAMP  
DIVISION OF THE STATE ARCHITECT  
LOS ANGELES REGIONAL OFFICE  
03-118912  
ACS FLS SS  
DATE

PROJECT NAME  
**GEORGE H. FLAMSON MS TEMPORARY CAMPUS**  
2405 SPRING ST.  
PASO ROBLES, CA 93446

No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION
REVISIONS					

SHEET NAME  
**ENLARGED SITE PLAN**

PROJECT ARCHITECT	PROJECT NUMBER	SCALE	SHEET NUMBER
DAVID WANAGA	17-58	T = 20'-0"	DET1.0

RF  
CHECKED BY  
06/04/2019